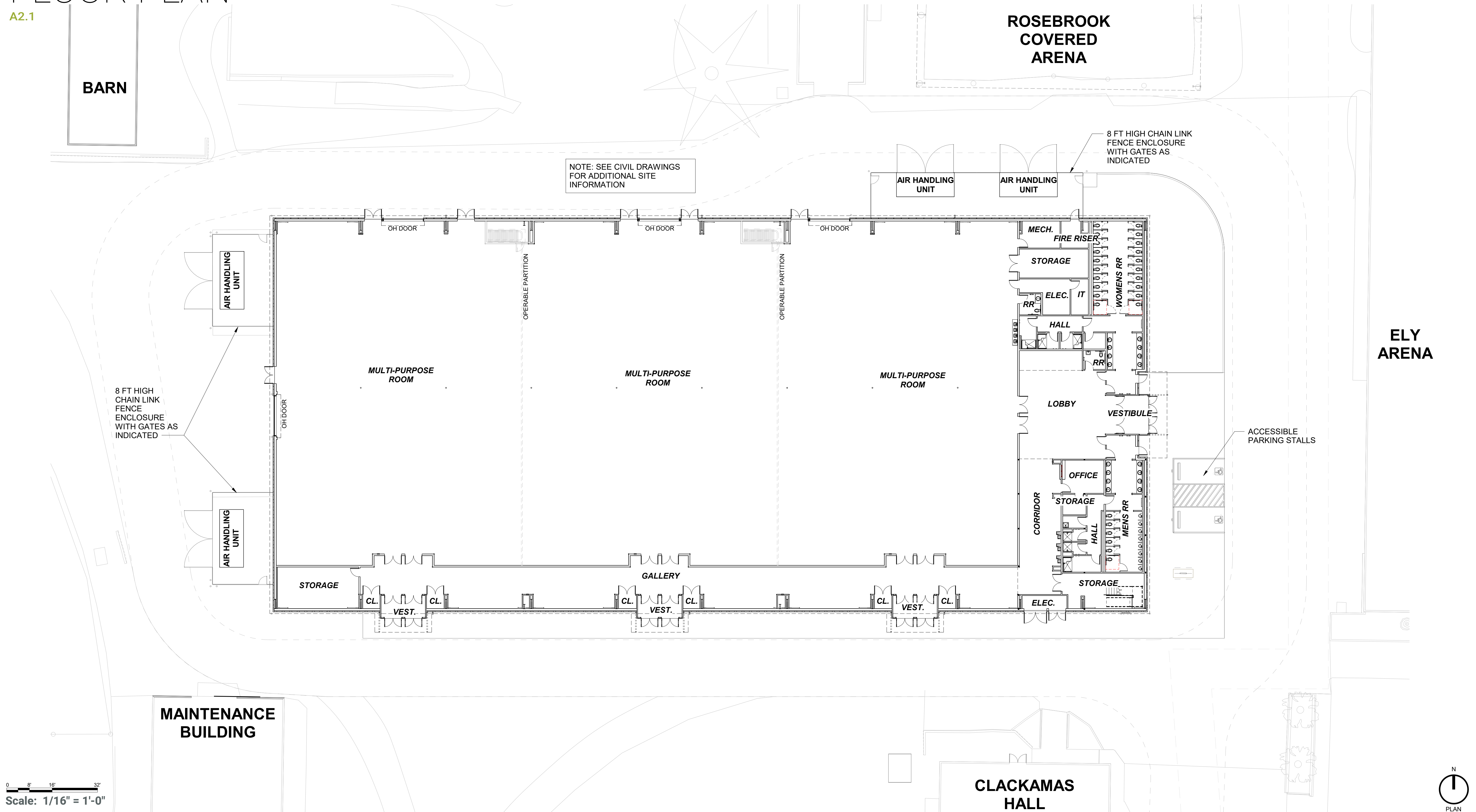


Appendix E - Land Use Plans

- Architectural Drawings**
- Civil Drawings**
- Landscape Drawings**

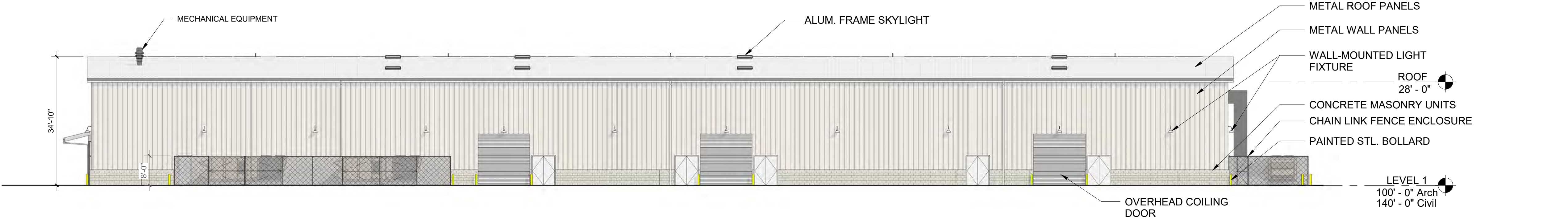
FLOOR PLAN

A2.1



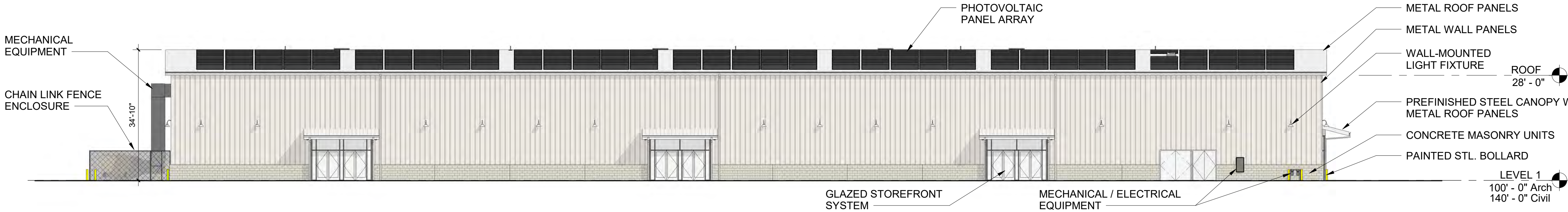
EXTERIOR ELEVATIONS

A5.1



1. NORTH ELEVATION

A5.1 SCALE: 1/16" = 1'-0"



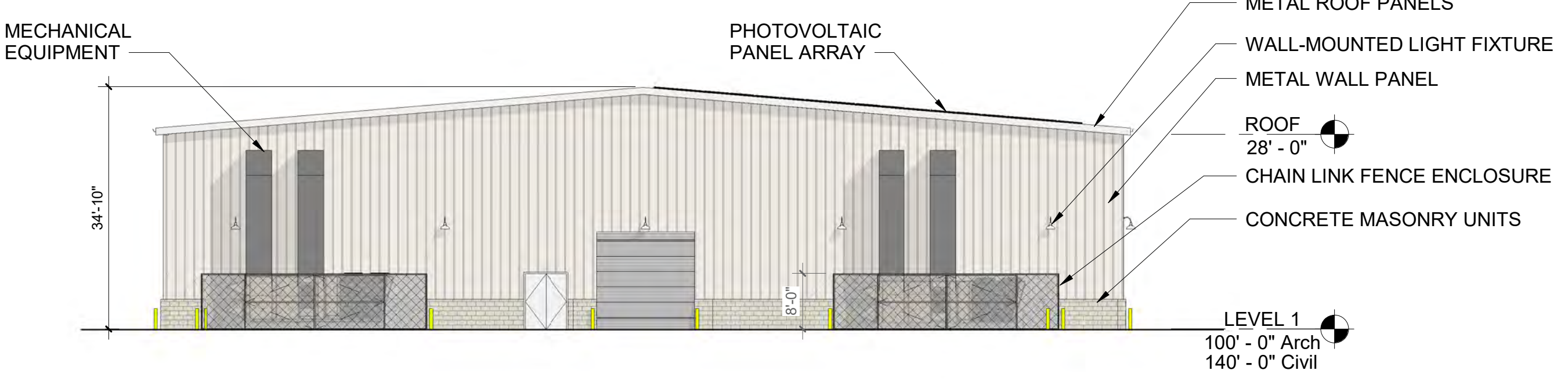
2. SOUTH ELEVATION

A5.1 SCALE: 1/16" = 1'-0"



3. EAST ELEVATION

A5.1 SCALE: 1/16" = 1'-0"



4. WEST ELEVATION

A5.1 SCALE: 1/16" = 1'-0"

0 8' 16' 32'

Scale: 1/16" = 1'-0"

BUILDING MATERIALS



METAL WALL PANEL
PBS 'PBR'



METAL ROOF PANEL
PBS Standing Seam



CONCRETE MASONRY UNIT
Mutual Materials Split-Faced Block - 'Winter Sky'



WALL-MOUNTED LIGHT FIXTURE
Barn Light 'Union' LED Wall Sconce

LAND USE

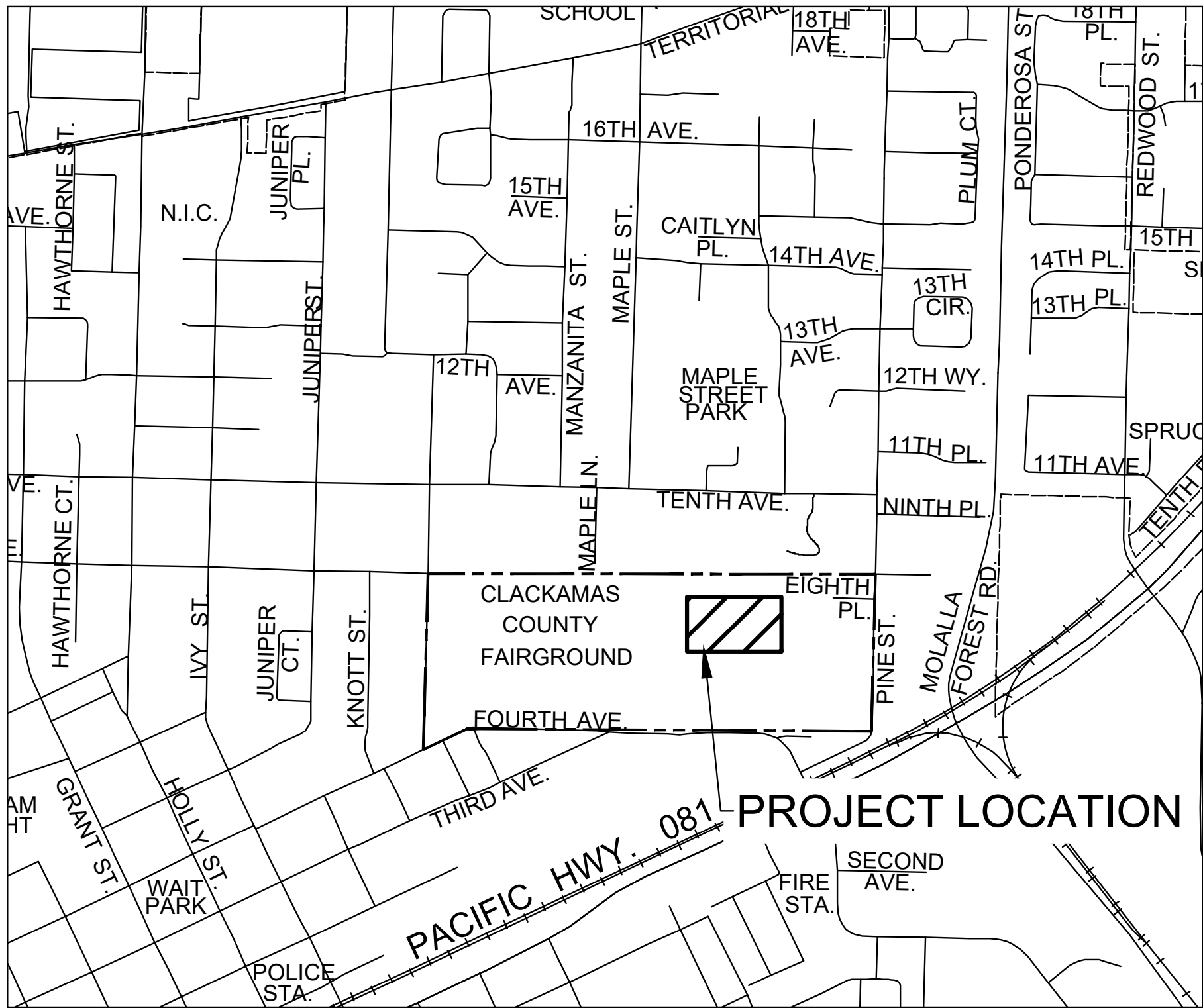
FOR

CLACKAMAS COUNTY FAIRGROUNDS

MULTI-PURPOSE BUILDING

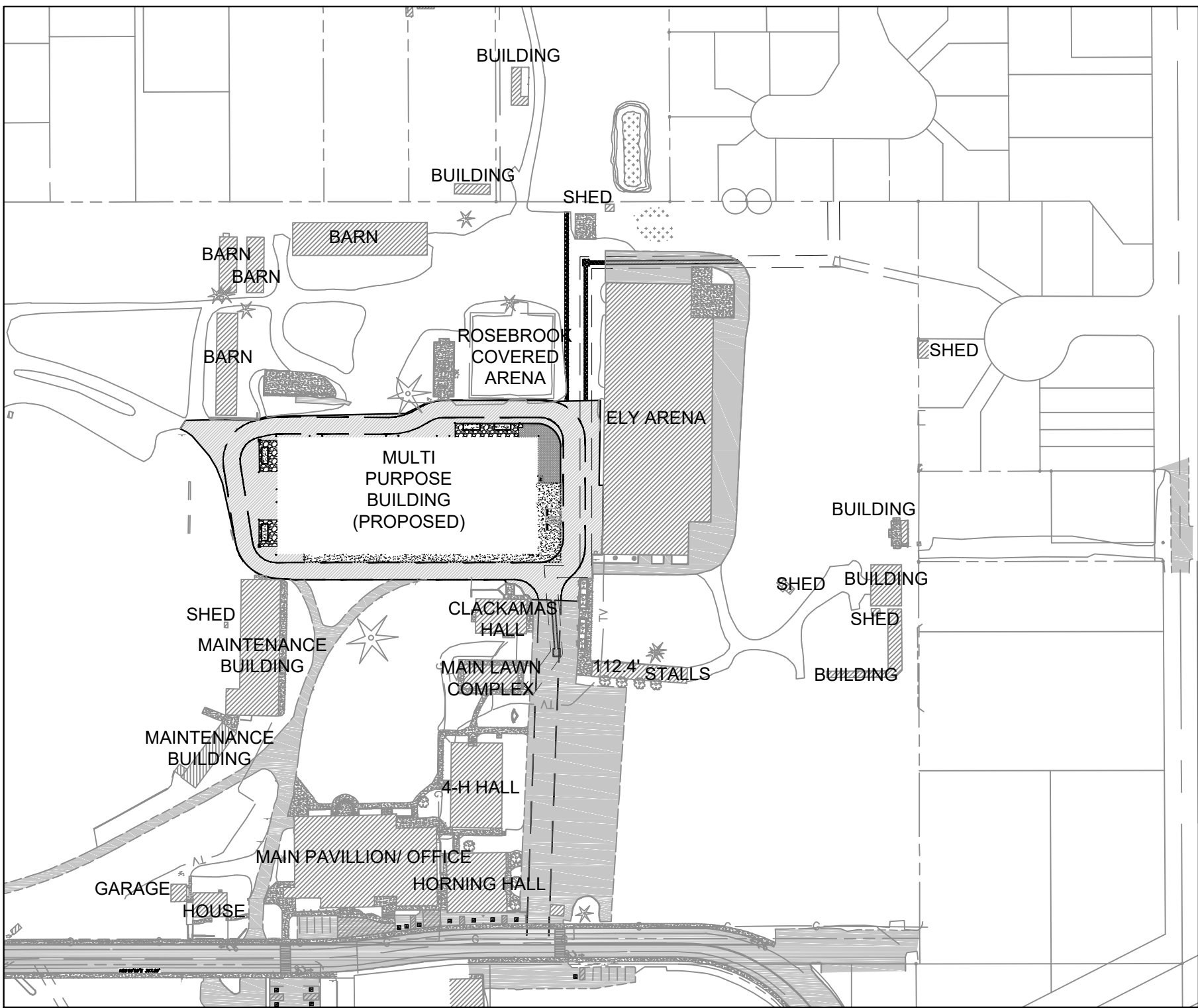
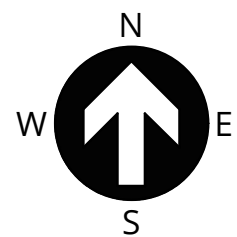
PREPARED FOR

CLACKAMAS COUNTY FAIRGROUNDS



VICINITY MAP

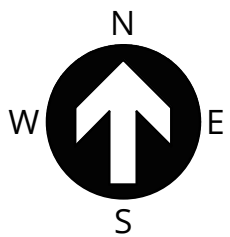
NOT TO SCALE



SITE MAP

SCALE: 1" = 150'

0 150 300 FT



Sheet List Table

Sheet Number	Sheet Title
C000	COVER SHEET
C100	EXISTING CONDITIONS PLAN
C210	OVERALL SITE PLAN
C210A	SIMPLIFIED SITE PLAN
C211	SITE PLAN I
C212	SITE PLAN II
C225	SITE AREAS PLAN
C230	GRADING PLAN I
C231	GRADING PLAN II
C250	FIRE ACCESS PLAN
C300	COMPOSITE UTILITY PLAN
L101	PLANTING PLAN
L102	PLANTING DETAILS AND NOTES

PROJECT TEAM

OWNER

CLACKAMAS COUNTY FAIRGROUNDS & EVENT CENTER
694 NE 4TH AVENUE
CANBY, OR 97013
CONTACT: BRIAN CROW
PHONE: (503) 266-1136

PLANNING CONSULTANT

3J CONSULTING, INC.
9600 SW NIMBUS AVE, SUITE 100
BEAVERTON, OR 97008
CONTACT: SAM HUCK
PHONE: (503) 946-9365 x251
EMAIL: sam.huck@3j-consulting.com

CIVIL ENGINEER

3J CONSULTING, INC.
9600 SW NIMBUS AVE, SUITE 100
BEAVERTON, OR 97008
CONTACT: AARON MURPHY, P.E.
PHONE: (503) 946-9365 x218
EMAIL: aaron.murphy@3j-consulting.com

LAND SURVEYOR

CENTERLINE CONCEPTS LAND SURVEYING, INC.
19376 MOLALLA AVENUE, SUITE 120
OREGON CITY, OREGON 97045
CONTACT: TOBY G. BOLDEN, PLS, CFedS
PHONE: (503) 650-0188
EMAIL: tobyb@centerlineconcepts.com

UTILITIES & SERVICES

STORM WATER

CITY OF CANBY PUBLIC WORKS
DEPARTMENT STORMWATER
1480 NE TERRITORIAL ROAD
CANBY, OR 97013
PHONE: (503) 266-1248

WATER

CANBY UTILITY
1265 SE 3RD AVENUE
CANBY, OR 97013
PHONE: (503) 266-1156

POLICE

CANBY POLICE
1175 NW 3RD AVENUE,
CANBY, OR 97013
PHONE: (503) 266-1104

CITY INSPECTIONS

CITY OF CANBY FACILITIES MAINTENANCE
CONTACT: DUSTIN BREESE
PHONE: (503) 266-0698
EMAIL: breezed@canbyoregon.gov

SANITARY SEWER

CITY OF CANBY PUBLIC WORKS
DEPARTMENT WASTEWATER
1480 NE TERRITORIAL ROAD, P.O. BOX 930
CANBY, OR 97013
PHONE: (503) 266-1248

POWER

CANBY UTILITY
1265 SE 3RD AVENUE
CANBY, OR 97013
PHONE: (503) 266-1156

FIRE

CANBY FIRE DISTRICT 62
221 S PINE STREET,
CANBY, OR 97013
PHONE: (503) 266-5851

ROADS

CITY OF CANBY PUBLIC WORKS
DEPARTMENT STREETS
1470 NE TERRITORIAL ROAD, P.O. BOX 930
CANBY, OR 97013
PHONE: (503) 266-0798

SITE INFORMATION

SITE ADDRESS

694 NE 4TH AVENUE
CANBY, OR 97013

JURISDICTION

CITY OF CANBY
222 NE 2ND AVENUE / P.O. BOX 930
CANBY, OR 97013

ZONING

LOW DENSITY RESIDENTIAL (R-1)

LOT AREA

38.76 ACRES

FLOOD HAZARD

MAP NUMBER: 41005C0264D & 41005C0268D
ZONE X (UNSHADED)

TAX LOT

MAP 31E33
TAX LOT 00100

LOCATION

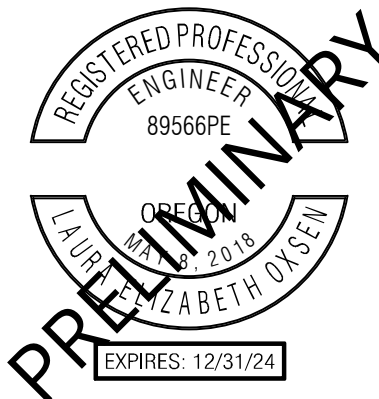
S.E. 1/4 N.W. 1.4 OF SECTION 33, T.3S., R.1E.,
W.M., CLACKAMAS COUNTY, OR

ATTENTION EXCAVATORS:

OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THESE RULES FROM THE CENTER BY CALLING 503-232-1987. IF YOU HAVE ANY QUESTIONS ABOUT THE RULES, YOU MAY CONTACT THE CENTER. YOU MUST NOTIFY THE CENTER AT LEAST TWO BUSINESS DAYS, BEFORE COMMENCING AN EXCAVATION. CALL 503-246-6699.



Know what's below.
Call before you dig.



PUBLISH DATE

10/16/2023

ISSUED FOR

LAND USE

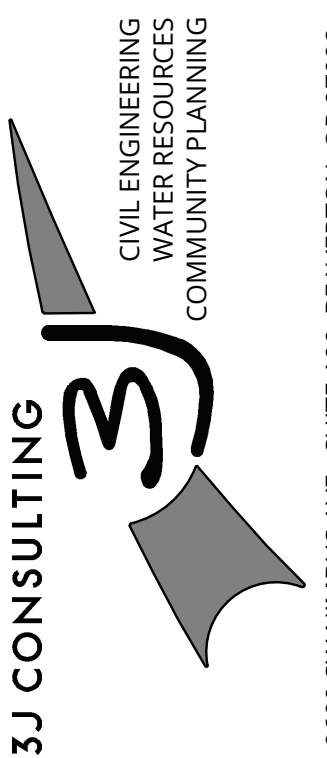
REVISIONS

COVER SHEET

CLACKAMAS COUNTY FAIRGROUNDS

MULTI-PURPOSE BUILDING

CLACKAMAS COUNTY FAIRGROUNDS
CANBY, OR

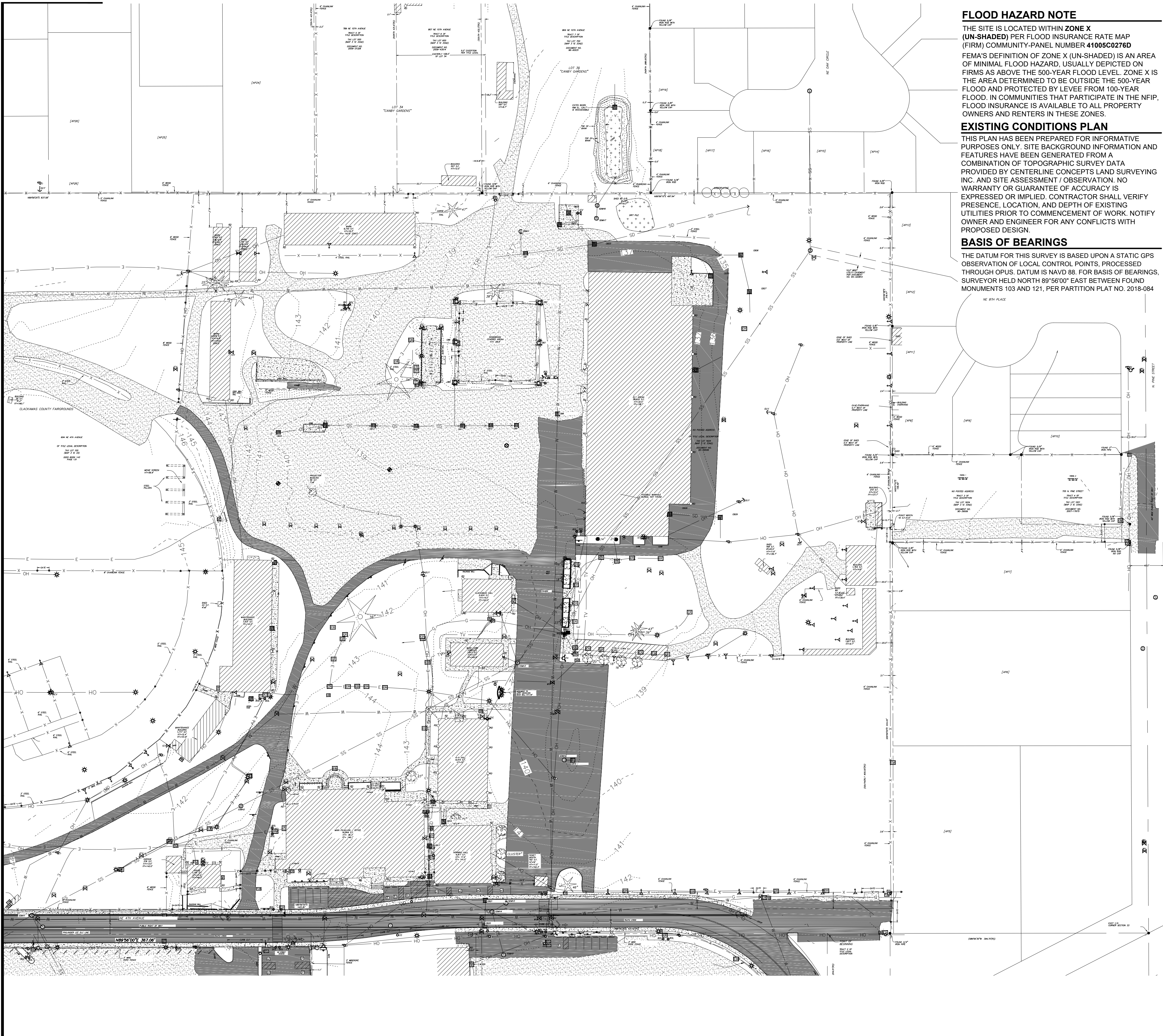


PROJECT INFORMATION

3J PROJECT # | 22799
TAX LOT(S) | 100, 700
LAND USE # | --
DESIGNED BY | LEO, SMT
CHECKED BY | AJM, LEO

SHEET NUMBER

C000



FLOOD HAZARD NOTE

THE SITE IS LOCATED WITHIN **ZONE X (UN-SHADED)** PER FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY-PANEL NUMBER **4100SC0276D**. FEMA'S DEFINITION OF ZONE X (UN-SHADED) IS AN AREA OF MINIMAL FLOOD HAZARD, USUALLY DEPICTED ON FIRMS AS ABOVE THE 500-YEAR FLOOD LEVEL. ZONE X IS THE AREA DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD AND PROTECTED BY LEVEE FROM 100-YEAR FLOOD. IN COMMUNITIES THAT PARTICIPATE IN THE NFIP, FLOOD INSURANCE IS AVAILABLE TO ALL PROPERTY OWNERS AND RENTERS IN THESE ZONES.

EXISTING CONDITIONS PLAN

THIS PLAN HAS BEEN PREPARED FOR INFORMATIVE PURPOSES ONLY. SITE BACKGROUND INFORMATION AND FEATURES HAVE BEEN GENERATED FROM A COMBINATION OF TOPOGRAPHIC SURVEY DATA PROVIDED BY CENTERLINE CONCEPTS LAND SURVEYING INC. AND SITE ASSESSMENT / OBSERVATION. NO WARRANTY OR GUARANTEE OF ACCURACY IS EXPRESSED OR IMPLIED. CONTRACTOR SHALL VERIFY PRESENCE, LOCATION, AND DEPTH OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF WORK. NOTIFY OWNER AND ENGINEER FOR ANY CONFLICTS WITH PROPOSED DESIGN.

BASIS OF BEARINGS

THE DATUM FOR THIS SURVEY IS BASED UPON A STATIC GPS OBSERVATION OF LOCAL CONTROL POINTS, PROCESSED THROUGH OPUS. DATUM IS NAVD 88. FOR BASIS OF BEARINGS, SURVEYOR HELD NORTH 89°56'00" EAST BETWEEN FOUND MONUMENTS 103 AND 121, PER PARTITION PLAT NO. 2018-084

SURVEYOR'S NOTES

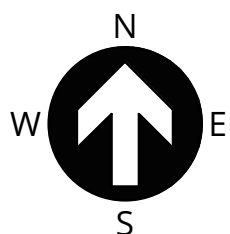
1. SURVEY AS SHOWN WAS PREPARED FROM A LEGAL DESCRIPTION AS CONTAINED IN CHICAGO TITLE COMPANY OF OREGON PRELIMINARY TITLE REPORT ORDER NO. 472522003810, WITH AN EFFECTIVE DATE OF JULY 6, 2022.
2. SOME FEATURES SHOWN ON THIS PLAT MAY BE SHOWN OUT OF SCALE FOR CLARITY.
3. DIMENSIONS ON THIS PLAT ARE EXPRESSED IN FEET AND DECIMAL PARTS THEREOF UNLESS OTHERWISE NOTED. BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN AND ARE USED TO DENOTE ANGLES ONLY. MONUMENTS WERE FOUND AT POINTS WHERE INDICATED.
4. MY BASIS OF BEARINGS IS NORTH 89°56'00" EAST ALONG THE SOUTH LINE OF NE 4TH AVENUE PER PARTITION PLAT NO. 2018-084, CLACKAMAS COUNTY SURVEY RECORDS.
5. GROSS LAND AREA OF LEGAL DESCRIPTION TRACTS:
TRACT 1: 143, 736 SF OR 3.3 ACRES
TRACT 2: 119,714 SF OR 2.7 ACRES
TRACT 3: 19,365 SF OR 0.5 ACRES
TRACT 4: 10,267 SF OR 0.2 ACRES
TRACT 5: 39,169 SF OR 0.9 ACRES
TRACT 6: 40,377 SF OR 0.9 ACRES
TRACT 7: 71,355 SF OR 1.6 ACRES
TRACT 8: 6,047 SF OR 0.1 ACRES
TRACT 9: 1,687,829 SF OR 38.7 ACRES
6. TOTAL GROSS AREA OF ALL TRACTS: 2,137,859 SF OR 49.1 ACRES
7. ACCORDING TO THE US FISH AND WILDLIFE SERVICE "NATIONAL WETLAND INVENTORY" WEBSITE, THERE ARE NO IDENTIFIED WETLANDS ON THE SUBJECT PROPERTY. AT THE TIME OF THIS SURVEY, THERE WERE NO FIELD DELINEATION OF THE WETLANDS.
8. AT THE TIME OF THIS SURVEY, THERE WAS NO OFFSITE EASEMENTS OR SERVITUDES DISCLOSED IN DOCUMENTS TO THE SURVEYOR.
9. AT THE TIME OF THIS SURVEY, THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS. THERE IS NO INDICATION OF CHANGES IN RIGHTS OF WAY.
10. AT THE TIME OF THIS SURVEY, THERE IS NO OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SLUMP OR SANITARY LANDFILL.

UTILITY NOTES

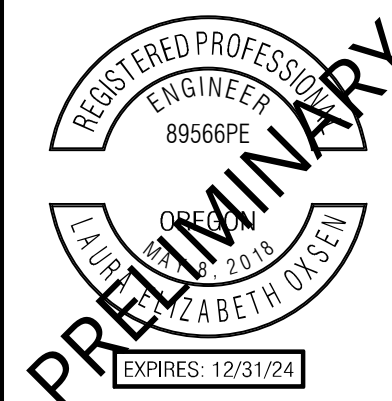
1. THE UNDERGROUND UTILITIES AS SHOWN ON THIS MAP ARE SHOWN BASED ON A COMBINATION OF INFORMATION, INCLUDING VISIBLE ABOVE GROUND STRUCTURES, AVAILABLE AS BUILT AND GIS MAPPING FROM LOCAL JURISDICTIONS, AS WELL AS SURFACE MARKINGS BY ONE CALL TICKET NUMBER 22135997 DATED MAY 25, 2022.
2. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED.
3. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.
4. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES THAT MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY SURVEYOR.
5. INVERT ELEVATIONS AND PIPE SIZES SHOWN ARE APPROXIMATE ONLY, BASED ON FIELD OBSERVATIONS AS WELL AS AVAILABLE AS-BUILT DATA. ALL PIPE SIZES SHALL BE FIELD VERIFIED BY THE OWNER, ENGINEER, CONTRACTOR, AND GOVERNING AGENCY PRIOR TO ANY CONSTRUCTION ACTIVITY. SURVEYOR DOES NOT WARRANT THE ACCURACY OF ANY PIPE SIZES SHOWN ON THIS SURVEY.
6. **NO UTILITY ASBUILTS WERE PROVIDED BY CLIENT OR CITY/COUNTY AGENCY. ASBUILTS WERE REQUESTED WITH CITY OF CANBY, CITY OF CANBY HAS NOT ASBUILTS AVAILABLE. UTILITIES SHOWN ARE APPROXIMATE BASED ON FOUND ABOVE GROUND STRUCTURES AND LIMITED PRIVATE UTILITIES ON SITE. ANY CONSTRUCTION OR DESIGN WILL NEED TO CONFIRM SIZES AND CONNECTIONS.

UTILITY STRUCTURE NOTES

CB1 = CATCH BASIN RIM EL. 136.5' FULL OF SEDIMENT	CB8 = CATCH BASIN RIM EL. 138.0' FULL OF SEDIMENT	CB15 = CATCH BASIN RIM EL. 137.5' IE (W) 135.6'
CB2 = CATCH BASIN RIM EL. 137.9' IE (S/N) 135.7'	CB9 = CATCH BASIN RIM EL. 138.3' IE (W) 136.8'	CB16 = CATCH BASIN RIM EL. 141.7' IE (S/N) 140.5'
CB3 = CATCH BASIN RIM EL. 138.0' IE (S/N) 135.3'	CB10 = CATCH BASIN RIM EL. 138.2' IE (W/E) 136.7'	CB17 = CATCH BASIN RIM EL. 141.7' IE (S/N) 140.3'
CB4 = CATCH BASIN RIM EL. 137.8' IE (N) 136.8'	CB11 = CATCH BASIN RIM EL. 138.0' IE (W/E/N) 136.4'	CB18 = CATCH BASIN RIM EL. 142.2' IE (S) 140.6'
CB5 = CATCH BASIN RIM EL. 137.8' IE (S/N) 136.8'	CB12 = CATCH BASIN RIM EL. 138.3' IE (W/E) 136.7'	CB19 = CATCH BASIN RIM EL. 141.3' IE (N) 140.0'
CB6 = CATCH BASIN RIM EL. 137.6' IE (N/S) 136.8'	CB13 = CATCH BASIN RIM EL. 138.6' IE (W/E) 137.1'	CB20 = CATCH BASIN RIM EL. 141.0' IE (N) 137.9'
CB7 = CATCH BASIN RIM EL. 137.8' IE (S) 137.2'	CB14 = CATCH BASIN RIM EL. 139.0' IE (W/E) 137.4'	CB21 = CATCH BASIN RIM EL. 141.2' IE (W) 139.3' IE (S) 138.9'
SSMH1 = SANITARY MANHOLE RIM EL. 144.3' UNABLE TO RETRIEVE INVERT DUE TO TRAFFIC CONDITIONS	SDMH1 = STORM MANHOLE RIM EL. 137.2' IE (S) 133.1'	SDMH2 = STORM MANHOLE RIM EL. 138.2' IE (E) 134.1'
SSMH2 = SANITARY MANHOLE RIM EL. 143.8' IE IN (SW) 136.4' IE OUT (NE) 136.3'	SDMH3 = STORM MANHOLE RIM EL. 141.5' IE (SW) 136.3'	SDMH4 = STORM MANHOLE RIM EL. 141.7' IE (NE) 137.3' IE (S) 135.9' IE (W) 135.7'
SSMH3 = SANITARY MANHOLE RIM EL. 140.0' IE IN (SW) 135.7' IE IN (W) 139.9' IE IN (NW) 136.1' IE IN (SW) 137.9' IE IN (E) 136.4' IE OUT (NE) 135.5'	SDMH5 = STORM MANHOLE RIM EL. 143.2' IE (N) 135.0'	

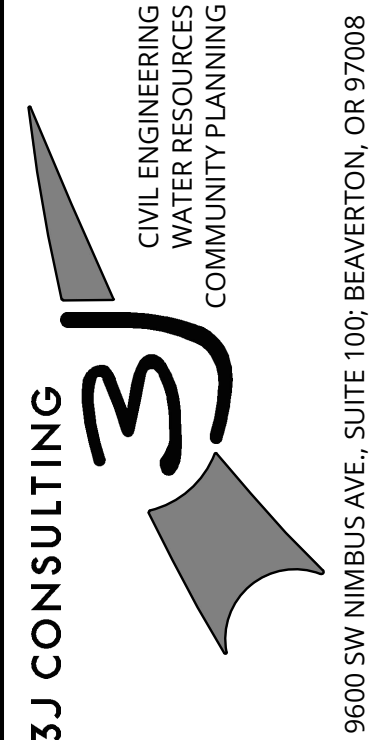


SCALE: 1" = 60'
0 60' 120' FT



PUBLISH DATE
10/16/2023
ISSUED FOR
LAND USE
REVISIONS

EXISTING CONDITIONS PLAN
CLACKAMAS COUNTY FAIRGROUNDS
MULTI-PURPOSE BUILDING
CLACKAMAS COUNTY FAIRGROUNDS
CANBY, OR

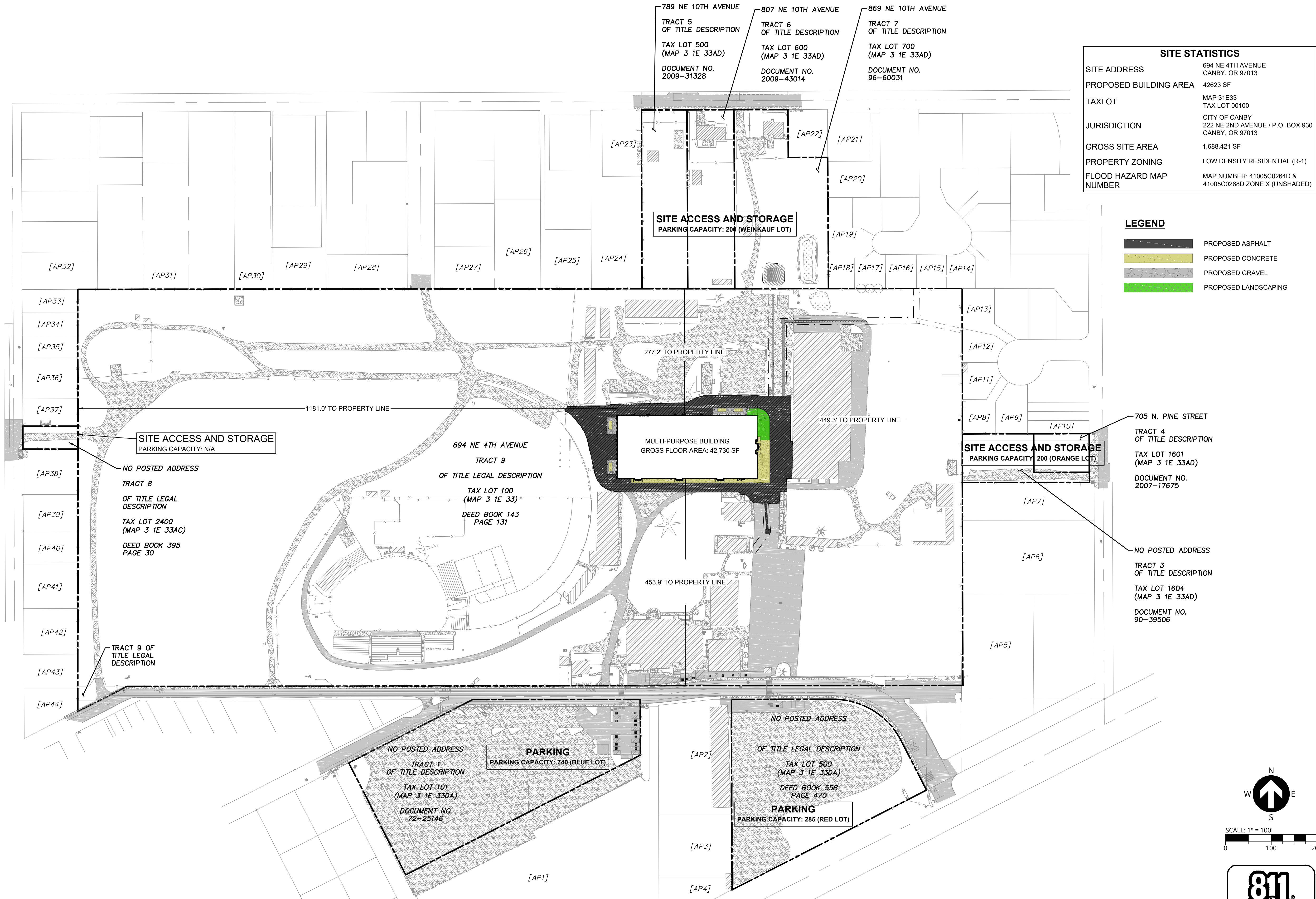


PROJECT INFORMATION
3J PROJECT # | 22799
TAX LOT(S) | 100, 700
LAND USE # | --
DESIGNED BY | LEO, SMT
CHECKED BY | AJM, LEO

SHEET NUMBER
C100

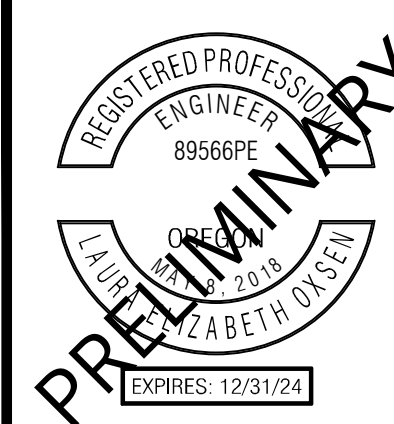
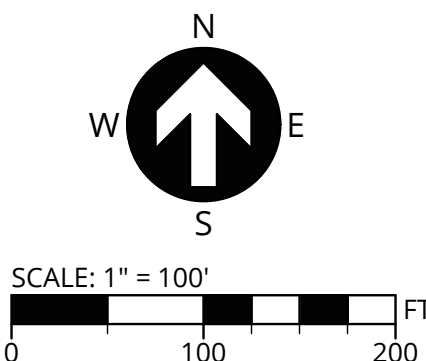
9600 SW NIMBUS AVE., SUITE 100, BEAVERTON, OR 97008

P:\22799-CLACKAMAS COUNTY FAIRGROUND-MULTI PURPOSE BUILDING\CAD\SHEETS\22799-SITE PLAN.DWG



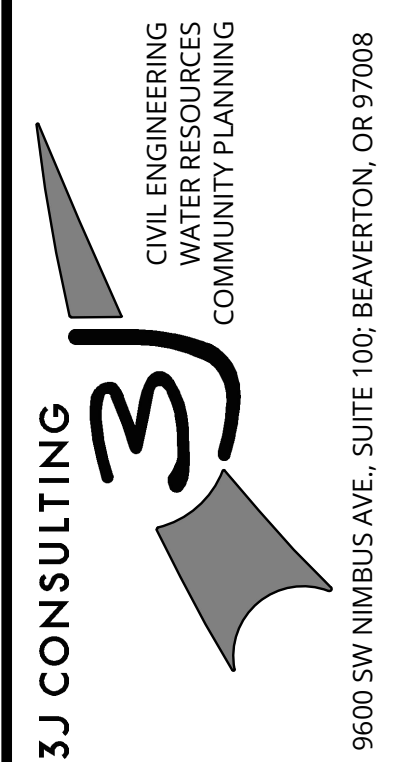
SITE STATISTICS	
SITE ADDRESS	694 NE 4TH AVENUE CANBY, OR 97013
PROPOSED BUILDING AREA	42623 SF
TAXLOT	MAP 31E33 TAX LOT 00100
JURISDICTION	CITY OF CANBY 222 NE 2ND AVENUE / P.O. BOX 930 CANBY, OR 97013
GROSS SITE AREA	1,688,421 SF
PROPERTY ZONING	LOW DENSITY RESIDENTIAL (R-1)
FLOOD HAZARD MAP NUMBER	MAP NUMBER: 41005C0264D & 41005C0268D ZONE X (UNSHADED)

LEGEND	
	PROPOSED ASPHALT
	PROPOSED CONCRETE
	PROPOSED GRAVEL
	PROPOSED LANDSCAPING



PUBLISH DATE
10/16/2023
ISSUED FOR
LAND USE
REVISIONS

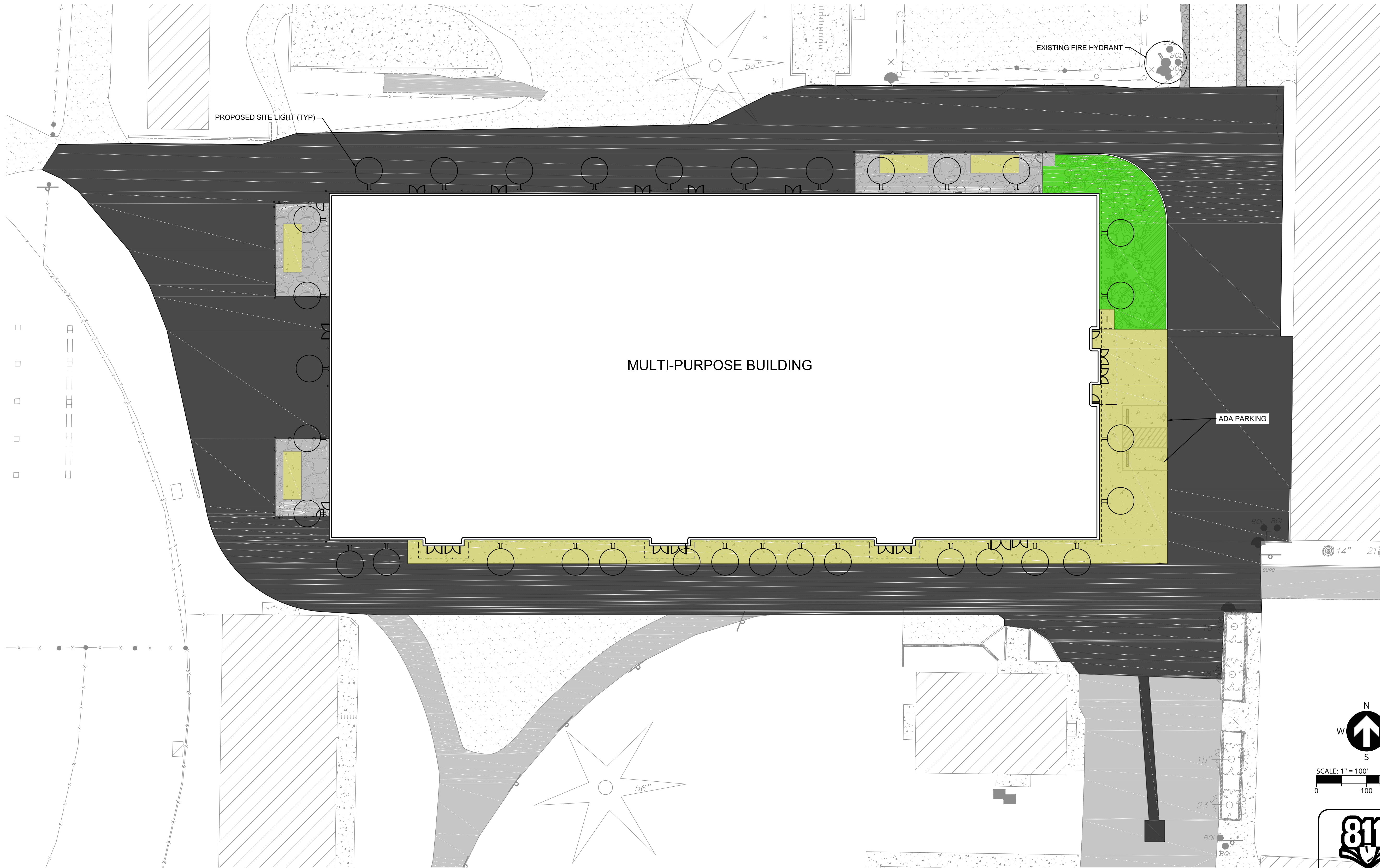
OVERALL SITE PLAN
**CLACKAMAS COUNTY FAIRGROUNDS
MULTI-PURPOSE BUILDING**
CLACKAMAS COUNTY FAIRGROUNDS
CANBY, OR



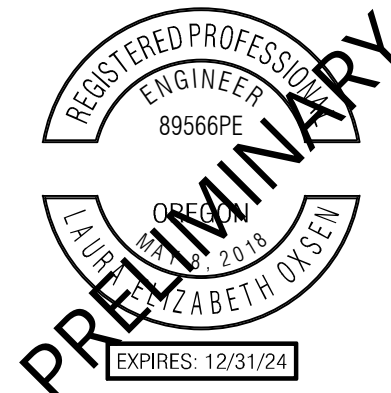
PROJECT INFORMATION
3J PROJECT # | 22799
TAX LOT(S) | 100, 700
LAND USE # | --
DESIGNED BY | LEO, SMT
CHECKED BY | AJM, LEO

SHEET NUMBER
C210

P:\22799-CLACKAMAS COUNTY FAIRGROUND-MULTI PURPOSE BUILDING\CAD\SHEETS\22799-SITE PLAN.DWG



- LEGEND**
- PROPOSED ASPHALT
 - PROPOSED CONCRETE
 - PROPOSED GRAVEL
 - PROPOSED LANDSCAPING



PUBLISH DATE
10/16/2023
ISSUED FOR
LAND USE
REVISIONS

SIMPLIFIED SITE PLAN
CLACKAMAS COUNTY FAIRGROUNDS
MULTI-PURPOSE BUILDING
CLACKAMAS COUNTY FAIRGROUNDS
CANBY, OR

3J CONSULTING
CIVIL ENGINEERING
WATER RESOURCES
COMMUNITY PLANNING
9600 SW NIMBUS AVE., SUITE 100, BEAVERTON, OR 97008

811
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PROJECT INFORMATION
3J PROJECT # | 22799
TAX LOT(S) | 100, 700
LAND USE # | --
DESIGNED BY | LEO, SMT
CHECKED BY | AJM, LEO

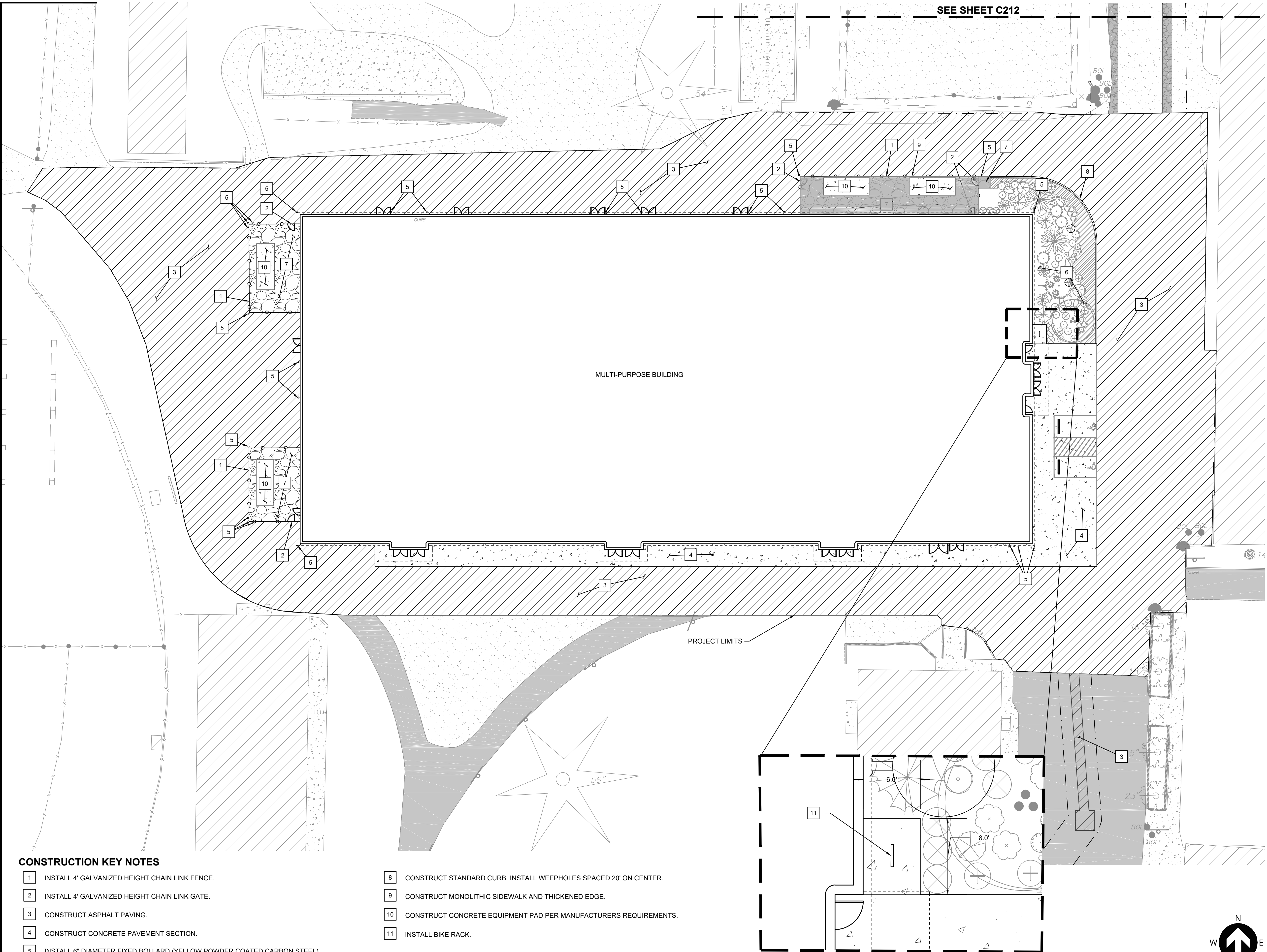
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C210A

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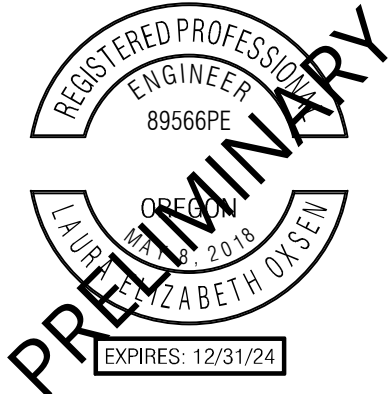
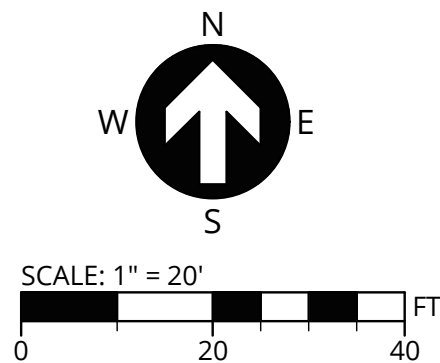
CONSTRUCTION KEY NOTES

- 1 INSTALL 4' GALVANIZED HEIGHT CHAIN LINK FENCE.
- 2 INSTALL 4' GALVANIZED HEIGHT CHAIN LINK GATE.
- 3 CONSTRUCT ASPHALT PAVING.
- 4 CONSTRUCT CONCRETE PAVEMENT SECTION.
- 5 INSTALL 6" DIAMETER FIXED BOLLARD (YELLOW POWDER COATED CARBON STEEL).
- 6 LANDSCAPE AREAS, SEE ARCHITECTURAL PLANS.
- 7 CONSTRUCT GRAVEL SECTION.

- 8 CONSTRUCT STANDARD CURB. INSTALL WEEPHOLES SPACED 20' ON CENTER.
- 9 CONSTRUCT MONOLITHIC SIDEWALK AND THICKENED EDGE.
- 10 CONSTRUCT CONCRETE EQUIPMENT PAD PER MANUFACTURERS REQUIREMENTS.
- 11 INSTALL BIKE RACK.

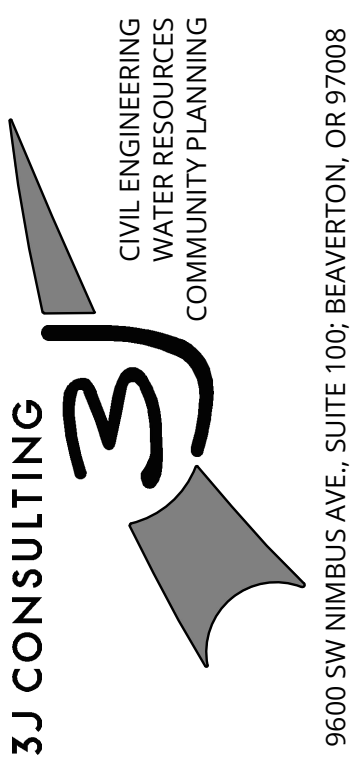


BIKE PARKING SPACING DETAIL
SCALE: 1" = 5'



PUBLISH DATE
10/16/2023
ISSUED FOR
LAND USE
REVISIONS

SITE PLAN I
CLACKAMAS COUNTY FAIRGROUNDS
MULTI-PURPOSE BUILDING
CLACKAMAS COUNTY FAIRGROUNDS
CANBY, OR



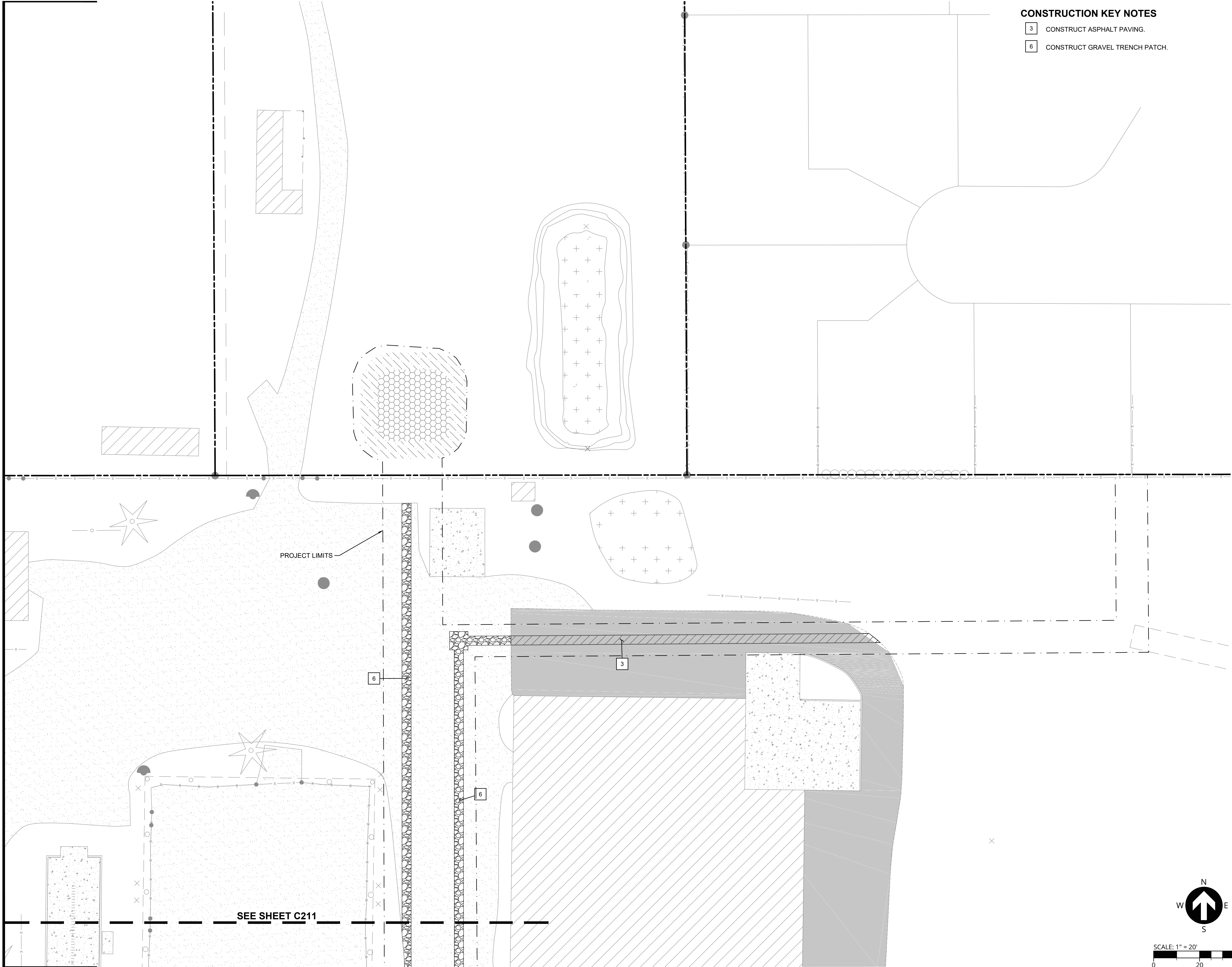
PROJECT INFORMATION
3J PROJECT # | 22799
TAX LOT(S) | 100, 700
LAND USE # | --
DESIGNED BY | LEO, SMT
CHECKED BY | AJM, LEO

SHEET NUMBER

C211

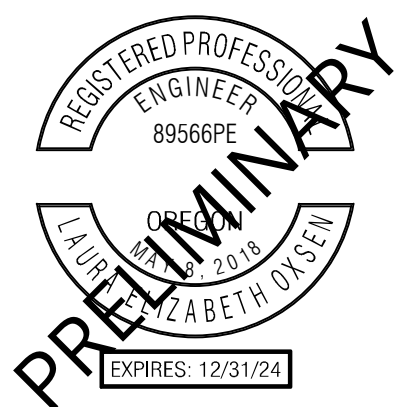
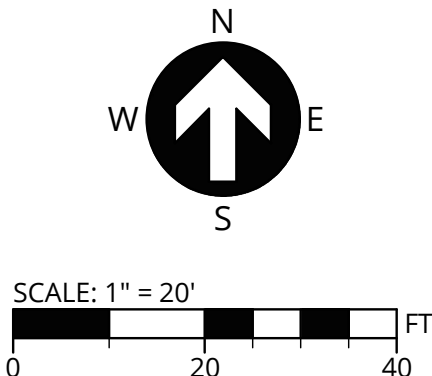


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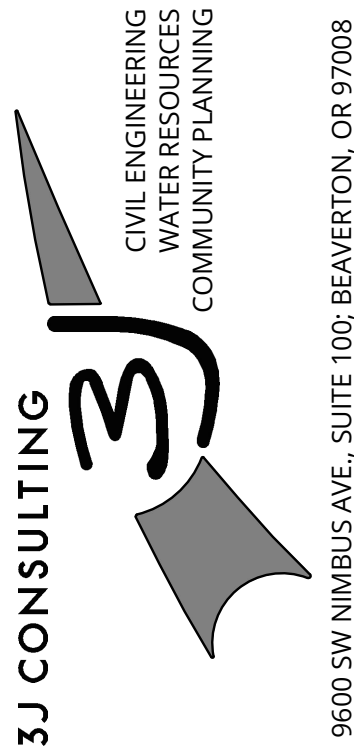
CONSTRUCTION KEY NOTES

- 3 CONSTRUCT ASPHALT PAVING.
- 6 CONSTRUCT GRAVEL TRENCH PATCH.



PUBLISH DATE
10/16/2023
ISSUED FOR
LAND USE
REVISIONS

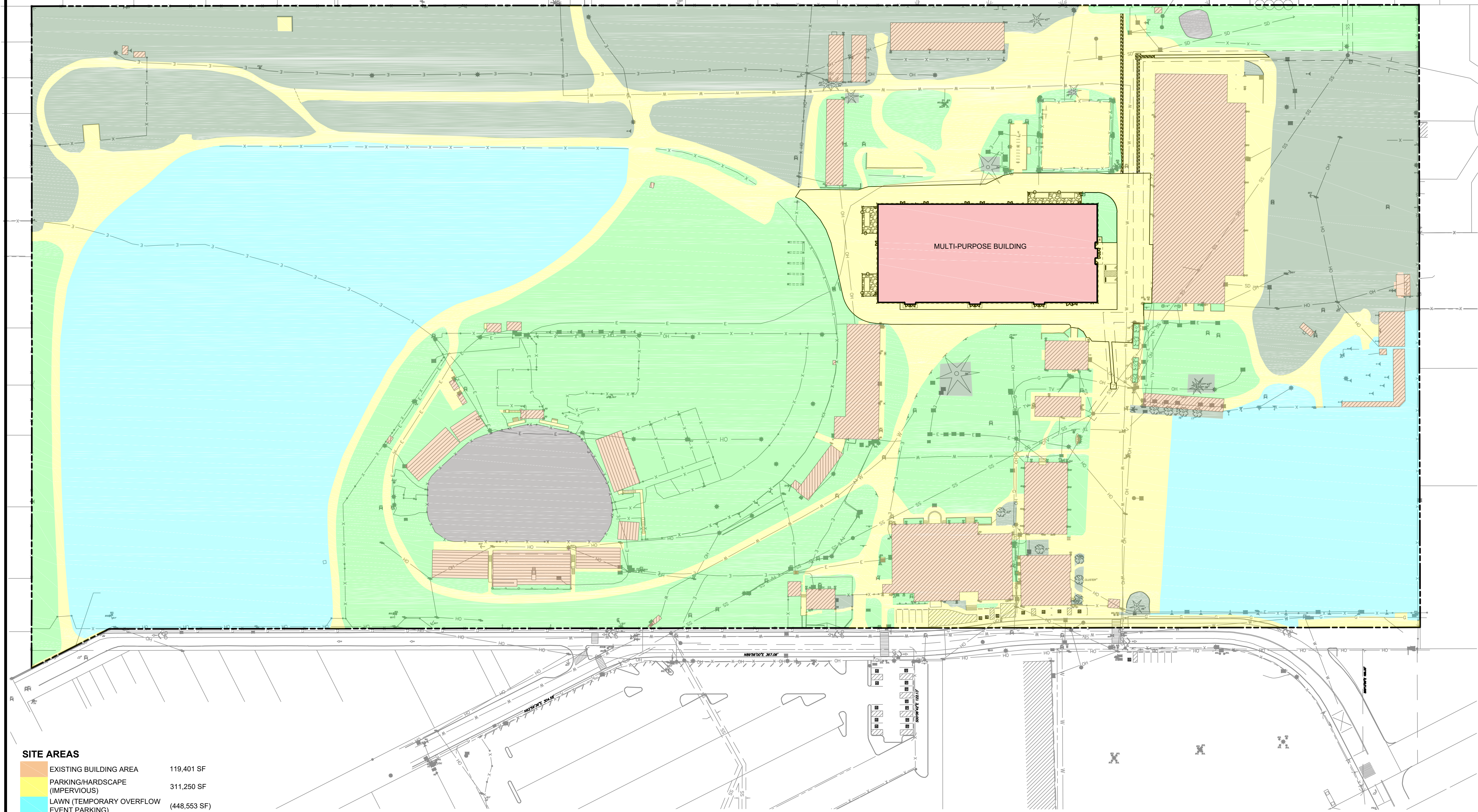
SITE PLAN II
CLACKAMAS COUNTY FAIRGROUNDS
MULTI-PURPOSE BUILDING
CLACKAMAS COUNTY FAIRGROUNDS
CANBY, OR
















PROJECT INFORMATION
3J PROJECT # | 22799
TAX LOT(S) | 100, 700
LAND USE # | --
DESIGNED BY | LEO, SMT
CHECKED BY | AJM, LEO

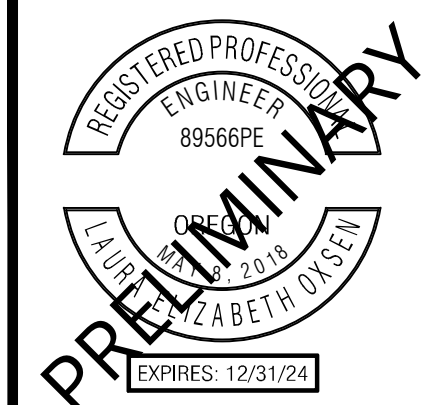
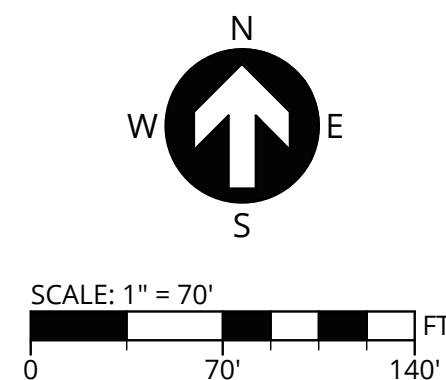
SHEET NUMBER
C212

P:\22799-CLACKAMAS COUNTY FAIRGROUND-MULTI PURPOSE BUILDING\CAD\SHEETS\22799-SITE AREAS PLAN.DWG



SITE AREAS		
	EXISTING BUILDING AREA	119,401 SF
	PARKING/HARDSCAPE (IMPERVIOUS)	311,250 SF
	LAWN (TEMPORARY OVERFLOW EVENT PARKING)	(448,553 SF)
	OTHER LANDSCAPE AREA (SEE LANDSCAPE AREA BREAKDOWN)	(730,043 SF)
	TOTAL LANDSCAPE AREA	1,178,596 SF
% REQUIRED		
30%		
% PROPOSED		
70%		
	OTHER (ARENA SOIL)	36,613 SF
	TOTAL EXISTING DEVELOPED AREA	1,645,860 SF
	PROPOSED BUILDING AREA	42,730 SF
	TOTAL SITE AREA	1,688,420 SF

LANDSCAPE AREA BREAKDOWN		
	TOTAL LANDSCAPE	1,178,596 SF
	LAWN (GRASS)	423,136 SF
% PROPOSED		
0.50%		
	LAWN (TEMPORARY OVERFLOW EVENT PARKING)	448,552 SF
	OTHER (TREES/SHRUBS/PLANTINGS, ETC.)	306,908 SF



PUBLISH DATE
10/16/2023
ISSUED FOR
LAND USE
REVISIONS








SITE AREAS PLAN
CLACKAMAS COUNTY FAIRGROUNDS
MULTI-PURPOSE BUILDING
CLACKAMAS COUNTY FAIRGROUNDS
CANBY, OR





3J CONSULTING
CIVIL ENGINEERING
WATER RESOURCES
COMMUNITY PLANNING
9000 SW NIMBUS AVE., SUITE 100, BEAVERTON, OR 97008

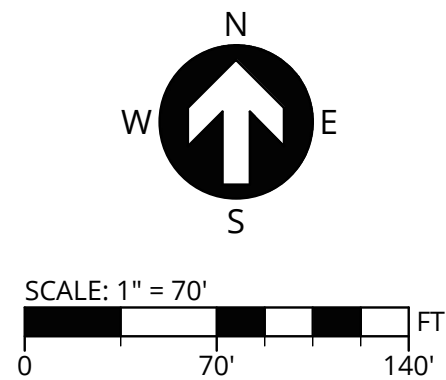
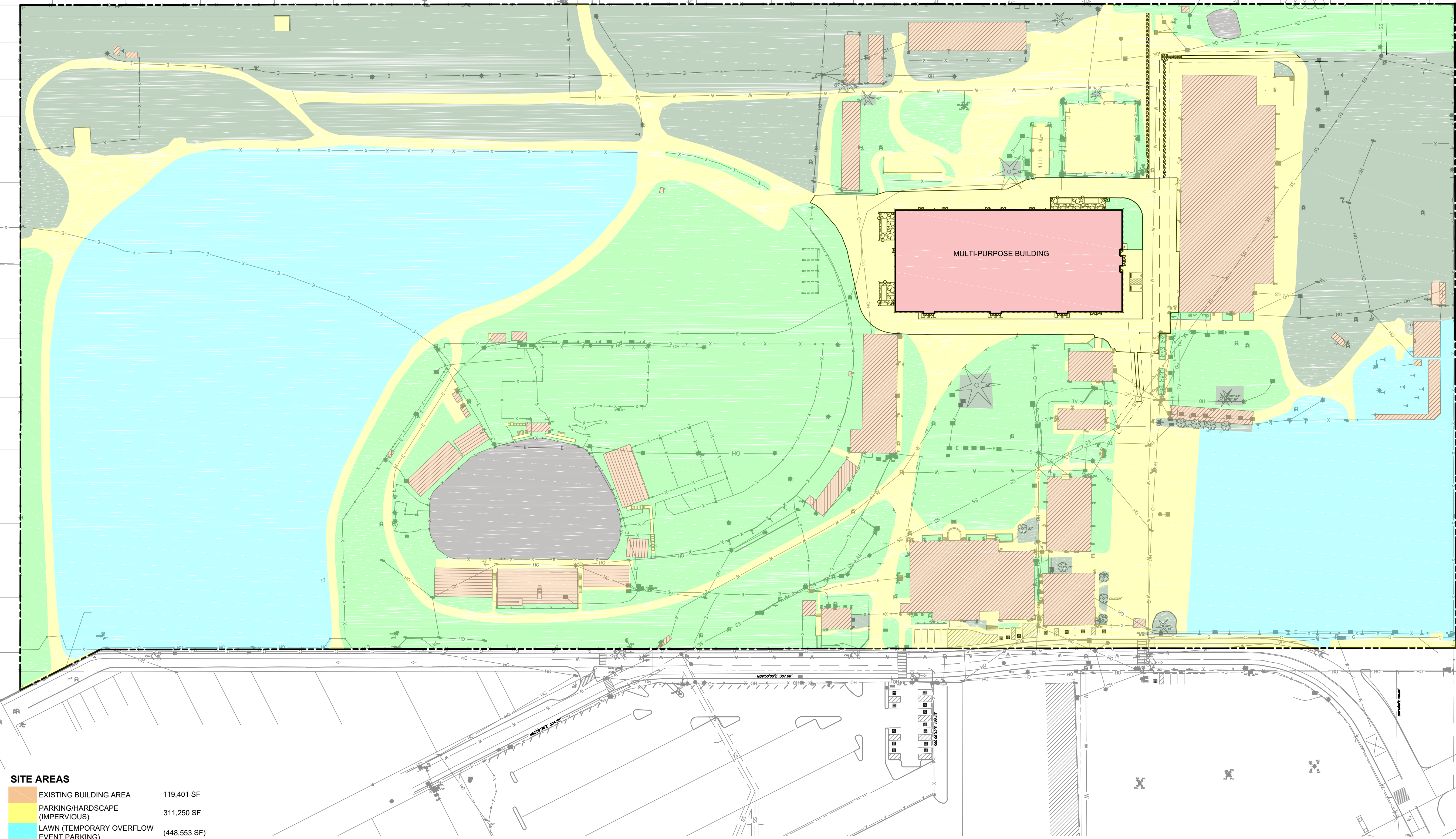
PROJECT INFORMATION
3J PROJECT # | 22799
TAX LOT(S) | 100, 700
LAND USE # | --
DESIGNED BY | LEO, SMT
CHECKED BY | AJM, LEO

SHEET NUMBER
C225

P:\22799-CLACKAMAS COUNTY FAIRGROUND-MULTI PURPOSE BUILDING\CAD\SHEETS\22799-SITE AREAS PLAN.DWG

SITE AREAS		
	EXISTING BUILDING AREA	119,401 SF
	PARKING/HARDSCAPE (IMPERVIOUS)	311,250 SF
	LAWN (TEMPORARY OVERFLOW EVENT PARKING)	(448,553 SF)
	OTHER LANDSCAPE AREA (SEE LANDSCAPE AREA BREAKDOWN)	(730,043 SF)
	TOTAL LANDSCAPE AREA	1,178,596 SF
	% REQUIRED	30%
	% PROPOSED	70%
	OTHER (ARENA SOIL)	36,613 SF
	TOTAL EXISTING DEVELOPED AREA	1,645,860 SF
	PROPOSED BUILDING AREA	42,730 SF
	TOTAL SITE AREA	1,688,590 SF

LANDSCAPE AREA BREAKDOWN		
	TOTAL LANDSCAPE	1,178,596 SF
	LAWN (GRASS)	423,136 SF
	% PROPOSED	0.50%
	LAWN (TEMPORARY OVERFLOW EVENT PARKING)	448,552 SF
	OTHER (TREES/SHRUBS/PLANTINGS, ETC.)	306,908 SF



PUBLISH DATE
10/16/2023
ISSUED FOR
LAND USE
REVISIONS

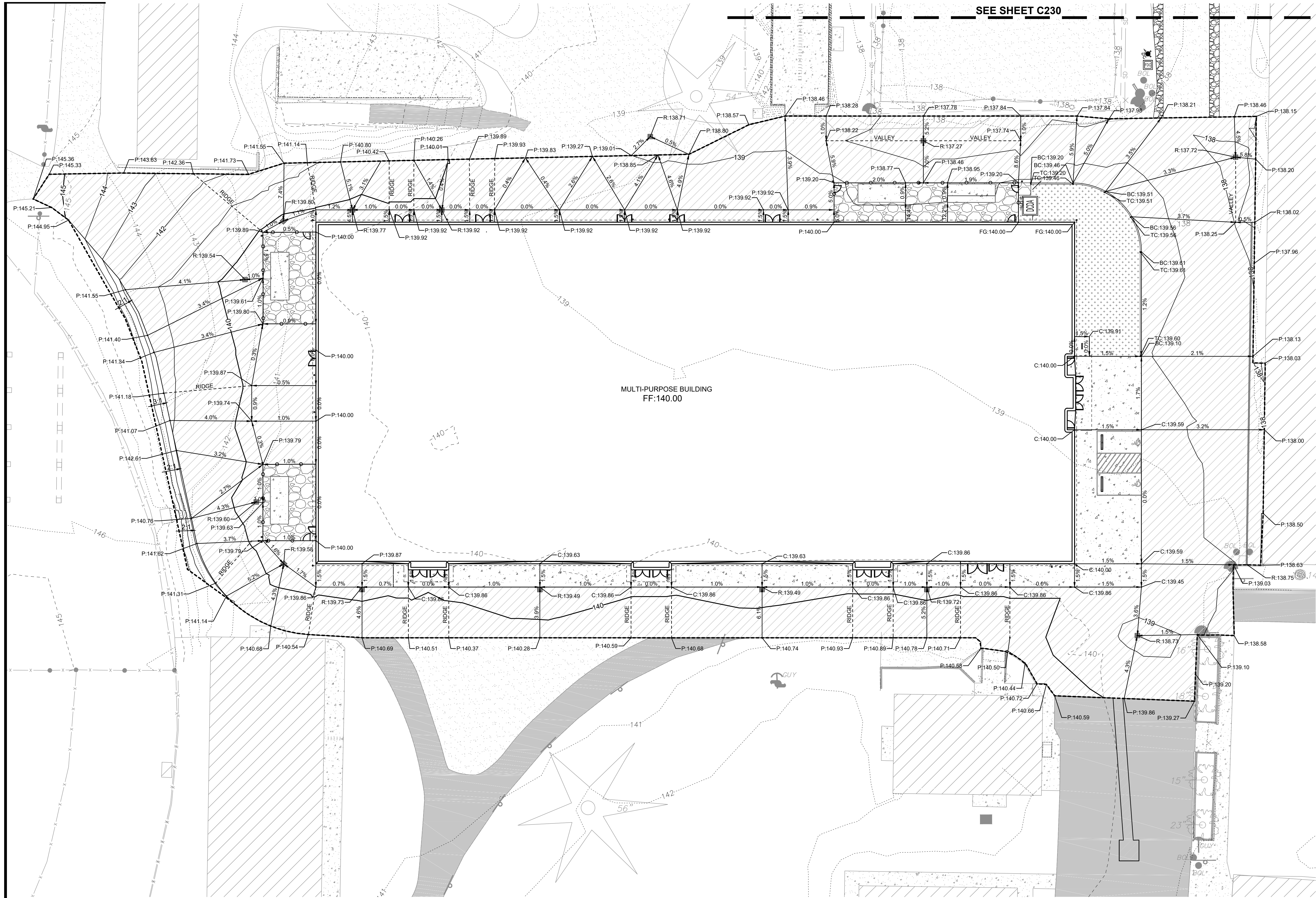
SITE AREAS PLAN
CLACKAMAS COUNTY FAIRGROUNDS
MULTI-PURPOSE BUILDING
CLACKAMAS COUNTY FAIRGROUNDS
CANBY, OR

3J CONSULTING
CIVIL ENGINEERING
WATER RESOURCES
COMMUNITY PLANNING
9600 SW NIMBUS AVE., SUITE 100, BEAVERTON, OR 97008

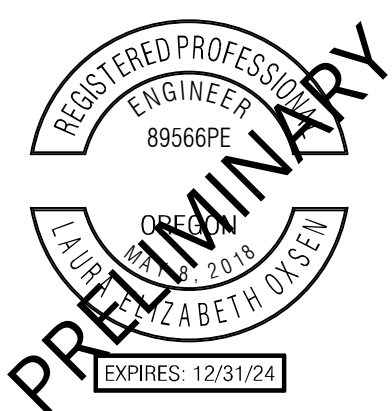
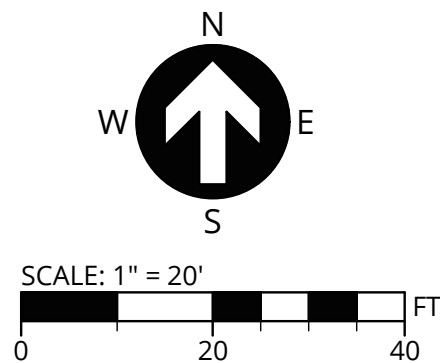
PROJECT INFORMATION
3J PROJECT # | 22799
TAX LOT(S) | 100, 700
LAND USE # | --
DESIGNED BY | LEO, SMT
CHECKED BY | AJM, LEO

SHEET NUMBER
C225

P:12799-CLACKAMAS COUNTY FAIRGROUND-MULTI PURPOSE BUILDING-CAD: SHEETS: 22799-GRADING PLAN DWG

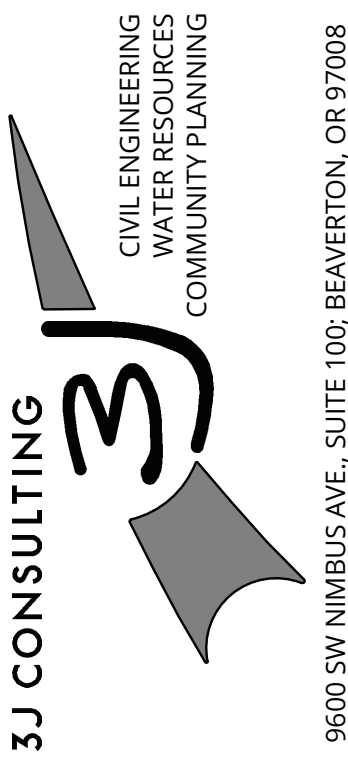


----- GRADING LIMITS



PUBLISH DATE
10/16/2023
ISSUED FOR
LAND USE
REVISIONS

GRADING PLAN I
CLACKAMAS COUNTY FAIRGROUNDS
MULTI-PURPOSE BUILDING
CLACKAMAS COUNTY FAIRGROUNDS
CANBY, OR

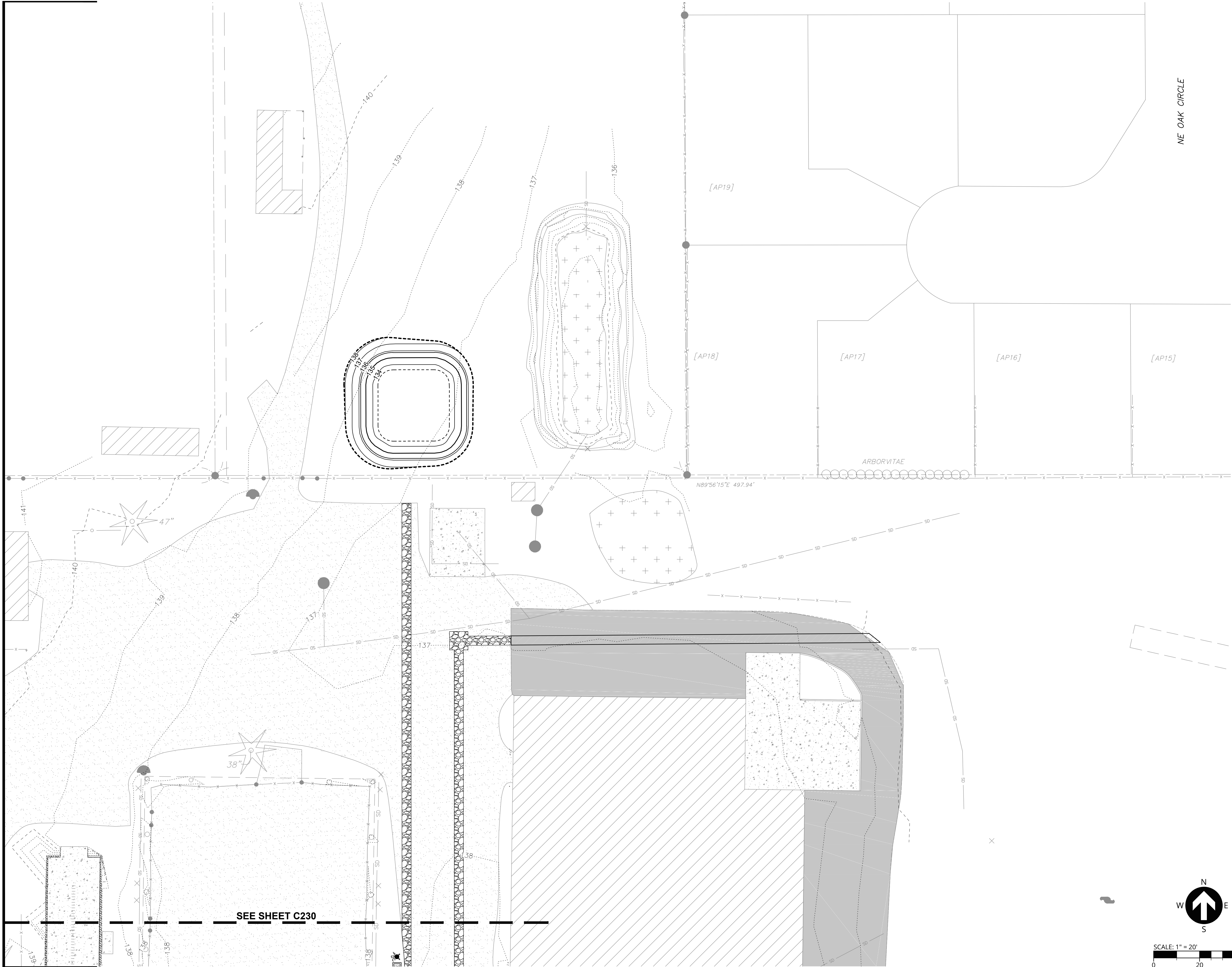


PROJECT INFORMATION
3J PROJECT # | 22799
TAX LOT(S) | 100, 700
LAND USE # | --
DESIGNED BY | LEO, SMT
CHECKED BY | AJM, LEO

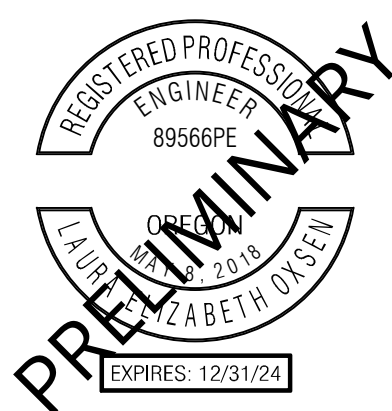
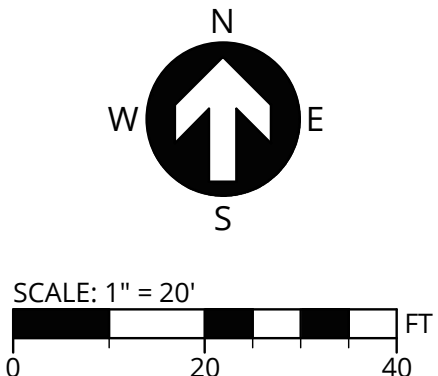
SHEET NUMBER
C230



P:12799-CLACKAMAS COUNTY FAIRGROUND-MULTI PURPOSE BUILDING-CAD-SHEETS\22799-GRADING PLAN.DWG



SEE SHEET C230



PUBLISH DATE
10/16/2023
ISSUED FOR
LAND USE
REVISIONS

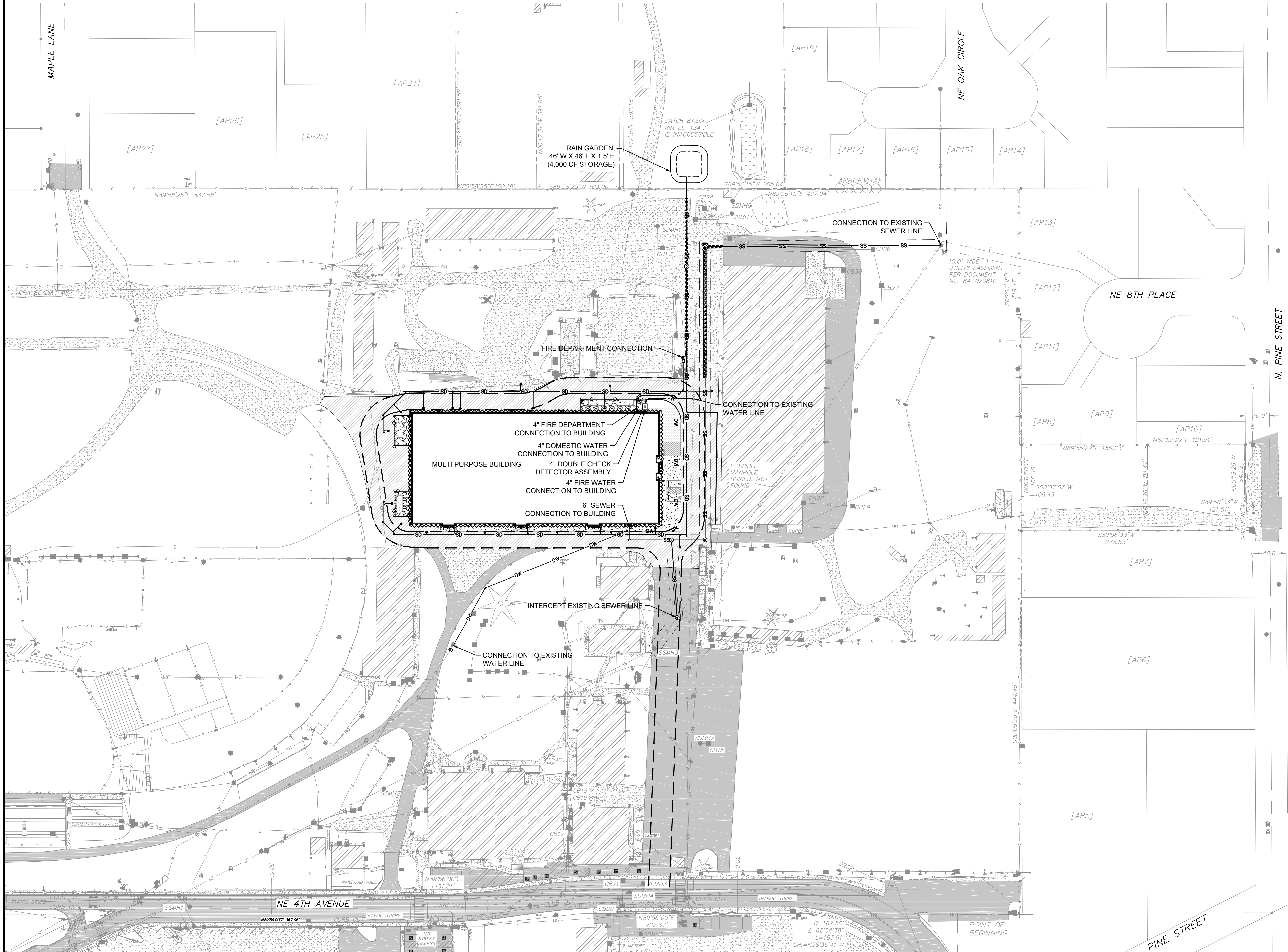
GRADING PLAN II
CLACKAMAS COUNTY FAIRGROUNDS
MULTI-PURPOSE BUILDING
CLACKAMAS COUNTY FAIRGROUNDS
CANBY, OR

3J CONSULTING
CIVIL ENGINEERING
WATER RESOURCES
COMMUNITY PLANNING
9600 SW NIMBUS AVE., SUITE 100, BEAVERTON, OR 97008

PROJECT INFORMATION
3J PROJECT # | 22799
TAX LOT(S) | 100, 700
LAND USE # | --
DESIGNED BY | LEO, SMT
CHECKED BY | AJM, LEO

SHEET NUMBER
C231

P:22799-CLACKAMAS COUNTY FAIRGROUND-MULTI PURPOSE BUILDING-CAD SHEETS:22799-COMPOSITE UTILITY PLAN.DWG



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SCALE: 1" = 60'

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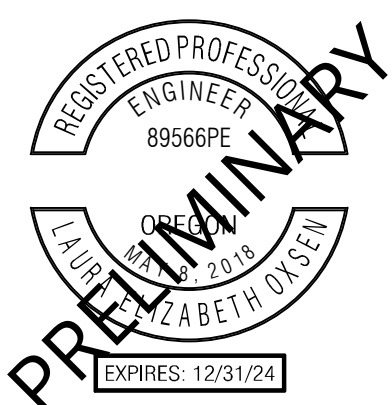
60

120

FT

811

Know what's below.
Call before you dig.



PUBLISH DATE
10/16/2023
ISSUED FOR
LAND USE
REVISIONS

COMPOSITE UTILITY PLAN
CLACKAMAS COUNTY FAIRGROUNDS
MULTI-PURPOSE BUILDING
CLACKAMAS COUNTY FAIRGROUNDS
CANBY, OR

3J CONSULTING

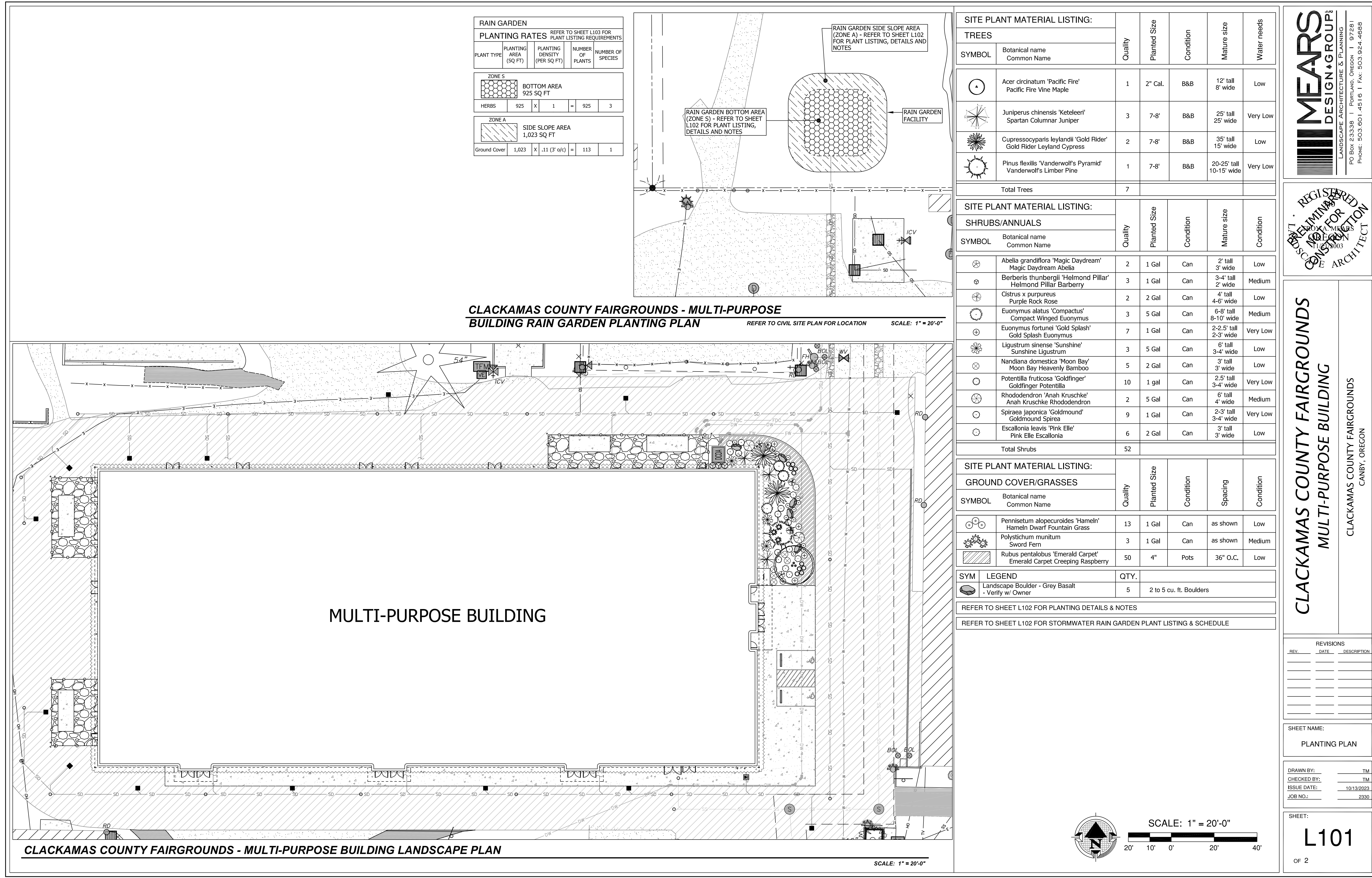
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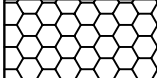

CIVIL ENGINEERING
WATER RESOURCES
COMMUNITY PLANNING

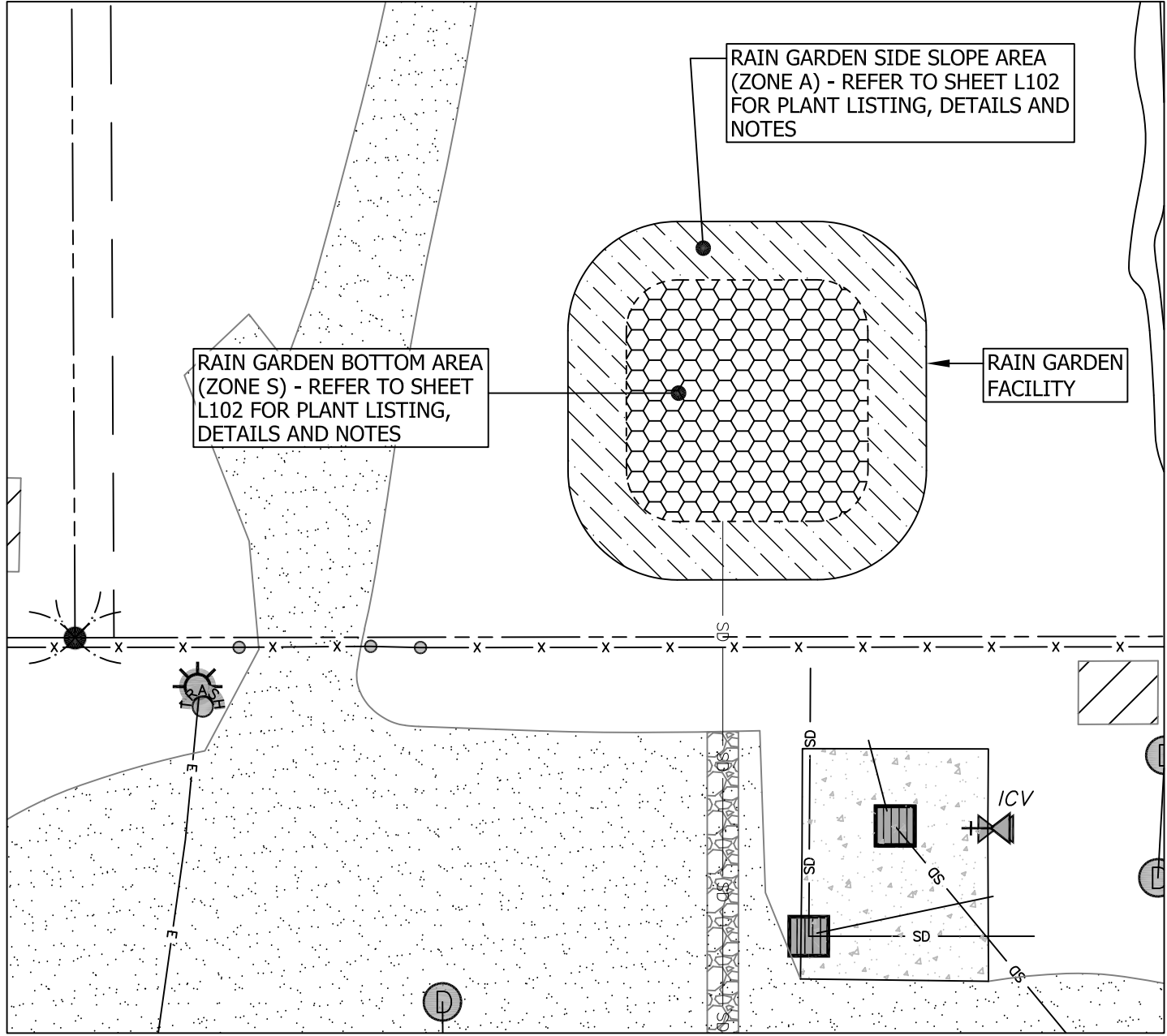
9600 SW NIMBUS AVE., SUITE 100, BEAVERTON, OR 97008

PROJECT INFORMATION
3J PROJECT # | 22799
TAX LOT(S) | 100, 700
LAND USE # | --
DESIGNED BY | LEO, SMT
CHECKED BY | AJM, LEO

SHEET NUMBER
C300


















RAIN GARDEN					
PLANTING RATES			REFER TO SHEET L103 FOR PLANT LISTING REQUIREMENTS		
PLANT TYPE	PLANTING AREA (SQ FT)	PLANTING DENSITY (PER SQ FT)	NUMBER OF PLANTS	NUMBER OF SPECIES	
ZONE S					
		BOTTOM AREA 925 SQ FT			
HERBS	925	X	1	=	925 3
ZONE A					
		SIDE SLOPE AREA 1,023 SQ FT			
Ground Cover	1,023	X .11 (3' o/c)	=	113	1






CLACKAMAS COUNTY FAIRGROUNDS - MULTI-PURPOSE BUILDING RAIN GARDEN PLANTING PLAN

REFER TO CIVIL SITE PLAN FOR LOCATION SCALE: 1" = 20'-0"

SITE PLANT MATERIAL LISTING:		Quality	Planted Size	Condition	Mature size	Water needs
TREES						
SYMBOL	Botanical name Common Name					
	Acer circinatum 'Pacific Fire' Pacific Fire Vine Maple	1	2" Cal.	B&B	12' tall 8' wide	Low
	Juniperus chinensis 'Keteleeri' Spartan Columnar Juniper	3	7-8'	B&B	25' tall 25' wide	Very Low
	Cupressocypariss leylandii 'Gold Rider' Gold Rider Leyland Cypress	2	7-8'	B&B	35' tall 15' wide	Low
	Pinus flexilis 'Vanderwolf's Pyramid' Vanderwolf's Limber Pine	1	7-8'	B&B	20-25' tall 10-15' wide	Very Low
Total Trees		7				

SITE PLANT MATERIAL LISTING:		Quality	Planted Size	Condition	Mature size	Condition
SHRUBS/ANNUALS						
SYMBOL	Botanical name Common Name					
	Abelia grandiflora 'Magic Daydream' Magic Daydream Abelia	2	1 Gal	Can	2' tall 3' wide	Low
	Berberis thunbergii 'Helmond Pillar' Helmond Pillar Barberry	3	1 Gal	Can	3-4' tall 2' wide	Medium
	Cistrus x purpureus Purple Rock Rose	2	2 Gal	Can	4' tall 4-6' wide	Low
	Euonymus alatus 'Compactus' Compact Winged Euonymus	3	5 Gal	Can	6-8' tall 8-10' wide	Medium
	Euonymus fortunei 'Gold Splash' Gold Splash Euonymus	7	1 Gal	Can	2-2.5' tall 2-3' wide	Very Low
	Ligustrum sinense 'Sunshine' Sunshine Ligustrum	3	5 Gal	Can	6' tall 3-4' wide	Low
	Nandiana domestica 'Moon Bay' Moon Bay Heavenly Bamboo	5	2 Gal	Can	3' tall 3' wide	Low
	Potentilla fruticosa 'Goldfinger' Goldfinger Potentilla	10	1 gal	Can	2.5' tall 3-4' wide	Very Low
	Rhododendron 'Anah Kruschke' Anah Kruschke Rhododendron	2	5 Gal	Can	6' tall 4' wide	Medium
	Spiraea japonica 'Goldmound' Goldmound Spirea	9	1 Gal	Can	2-3' tall 3-4' wide	Very Low
	Escallonia leavis 'Pink Elle' Pink Elle Escallonia	6	2 Gal	Can	3' tall 3' wide	Low
Total Shrubs		52				

SITE PLANT MATERIAL LISTING:		Quality	Planted Size	Condition	Spacing	Condition
GROUND COVER/GRASSES						
SYMBOL	Botanical name Common Name					
	Pennisetum alopecuroides 'Hameln' Hameln Dwarf Fountain Grass	13	1 Gal	Can	as shown	Low
	Polystichum munitum Sword Fern	3	1 Gal	Can	as shown	Medium
	Rubus pentalobus 'Emerald Carpet' Emerald Carpet Creeping Raspberry	50	4"	Pots	36" O.C.	Low

SYM	LEGEND	QTY.
	Landscape Boulder - Grey Basalt - Verify w/ Owner	5 2 to 5 cu. ft. Boulders

REFER TO SHEET L102 FOR PLANTING DETAILS & NOTES

REFER TO SHEET L102 FOR STORMWATER RAIN GARDEN PLANT LISTING & SCHEDULE

MEARS
DESIGN+GROUP

LANDSCAPE ARCHITECTURE & PLANNING
PO BOX 23338 | PORTLAND, OREGON | 97281
PHONE: 503.601.4516 | FAX: 503.924.4668

REGISTERED
LANDSCAPE ARCHITECT
OREGON
NO. 1003

CLACKAMAS COUNTY FAIRGROUNDS
MULTI-PURPOSE BUILDING

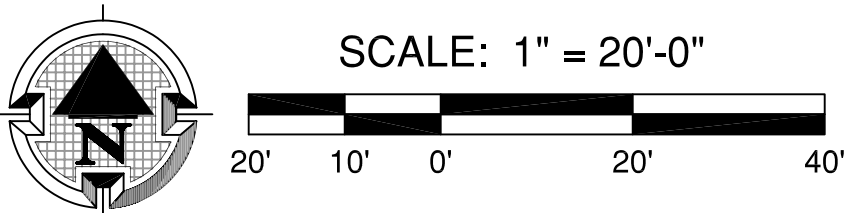
CLACKAMAS COUNTY FAIRGROUNDS
CANBY, OREGON

REVISIONS		
REV.	DATE	DESCRIPTION

SHEET NAME:
PLANTING PLAN

DRAWN BY:	TM
CHECKED BY:	TM
ISSUE DATE:	10/13/2023
JOB NO.:	2330

SHEET:
L101
OF 2





1. B&B stock may be substituted with container stock of equal grade.
2. Container stock may be substituted with B&B stock of equal grade.
3. Plant material shall conform with American Standard for Nursery Stock, ANSI Z60.1, 2014 edition.
4. All trees shall be branched.
5. Refer to project technical specification for topsoil requirement. All planting beds shall have a minimum of 18 inches topsoil. All lawn areas shall have a minimum 6 inches topsoil. Re-use of existing topsoil is recommended, but must meet specifications.
6. Landscape Contractor to provide soil analysis of existing soil and/or imported soil prior to placement. Recommended amendments to be reviewed and approved by Landscape Architect.
7. Garden mulch all planting beds with 3" min. Layer of specified garden mulch.
8. In the event of a discrepancy between this material listing and the drawings, the drawings shall govern the plant species and quantities required.
9. In the event of question or lack of clarity on drawings, Landscape Contractor is to call Landscape Architect before proceeding.
10. Landscape contractor is to notify Landscape Architect prior to installation of plant material to approve final placement.
11. Landscape Contractor to verify plant material quantities.
12. Contractor will provide a one year warranty on all provided & installed plant material from date of final approval by owner's representative.



OF 2