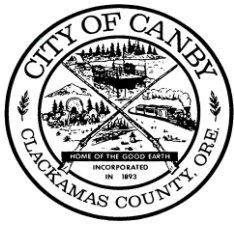


PLANNING COMMISSION MEETING
January 11, 2021

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AGENDA CANBY PLANNING COMMISSION

Meetings can be viewed on CTV Channel 5 or Canby YouTube

**Monday, January 11, 2021
7:00 PM (Virtual Zoom Meeting)**

Commissioner John Savory (Chair)

Commissioner Larry Boatright (Vice Chair)

Commissioner Jennifer Trundy

Commissioner Jeff Mills

Commissioner Michael Hutchinson

Commissioner Jason Taylor

Commissioner (Vacant)

1. CALL TO ORDER

- a. Invocation
- b. Pledge of Allegiance

2. CITIZEN INPUT ON NON-AGENDA ITEMS

This is an opportunity for audience members to address the Planning Commission on items not on the agenda. Each person will be given 3 minutes to speak. Staff and the Planning Commission will make every effort to respond to questions raised during citizens input before the meeting ends or as quickly as possible thereafter. ***If you would like to speak on non-agenda items, please email or call the Recording Secretary no later than 3 pm on meeting date and provide your name, the topic you'd like to speak on, and your email address. Email: fousel@canbyoregon.gov or Call: 503-266-0685. Once your information is received, you will be sent instructions for signing into Zoom. Commissioners and Staff will be attending this meeting virtually.

3. MINUTES – Planning Commission Minutes for December 14, 2020.

4. NEW BUSINESS – None

5. PUBLIC HEARING To testify, please email or call the Recording Secretary no later than 3 pm on meeting date and provide your name and email address. Email: fousel@canbyoregon.gov or Call: 503-266-0685. Once your information is received, you will be sent instructions for signing into Zoom. Commissioners and Staff will be attending this meeting virtually.

- a. To consider a request for the redevelopment of the existing Taco Bell quick service drive-thru restaurant on SW 1st Ave, while retaining the building footprint (**DR 20-05**).

6. FINAL DECISIONS –These are the final, written versions of previous oral decisions. No public testimony is taken.

- a. *Taco Bell Redevelopment Final Findings DR 20-05.*

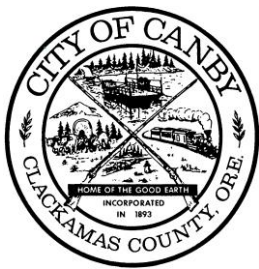
7. ITEMS OF INTEREST/REPORT FROM PLANNING STAFF–

- a. Next regularly scheduled Planning Commission meeting – Monday, January 25, 2021.

8. ITEMS OF INTEREST/GUIDANCE FROM PLANNING COMMISSION

9. ADJOURNMENT

The meeting location is accessible to persons with disabilities. A request for an interpreter for the hearing impaired or for other accommodations for person with disabilities should be made at least 48 hours before the meeting at 503-266-7001. A copy of this agenda can be found on the City's web page www.canbyoregon.gov. City Council and Planning Commission Meetings are broadcast live and can be viewed on CTV Channel 5. For a schedule of the playback times, please call 503-263-6287.



MINUTES
CANBY PLANNING COMMISSION
7:00 PM – Monday, December 14, 2020

PRESENT: Commissioners John Savory, Larry Boatright, Jennifer Trundy, Michael Hutchinson, and Jason Taylor

ABSENT: Jeff Mills

STAFF: Ryan Potter, Associate Planner, Joseph Lindsay, City Attorney, Jamie Stickel, Economic Development Director, Jerry Nelzen, Public Works Director (Interim), and Laney Fouse Lawrence, Recording Secretary

OTHERS: Curt McLeod, Robert Cambra, Steve Sieber, Chris Maciejewski, and Kevin Chewuk

CALL TO ORDER

Chair Savory called the meeting to order at 7:00 p.m.

CITIZEN INPUT ON NON-AGENDA ITEMS – None

MINUTES – None

NEW BUSINESS – None

PUBLIC HEARING

- a. To consider a request to make minor amendments to the City's 2010 Transportation System Plan (TSP). These amendments reflect a revised alignment for a connector road between the Canby Pioneer Industrial Park and State Highway 99E, which was previously planned as an extension to Otto Road but is proposed to be an extension of S Walnut Street. (TA 20-02 2010 TSP Amendments).

Chair Savory opened the public hearing and read the hearing statement. He asked if the Commission had any conflicts of interest or ex parte contacts to declare including a visit to the site. There were none.

Staff Report: Ryan Potter, AICP, Senior Planner presented the staff report. This was a continuance of the hearing from the last Commission meeting. At that meeting the Commission asked for additional context and history of the project. He explained the need for this TSP amendment. The growth in the Industrial Park had increased the need for a truck route between the park and Highway 99E. A conceptual route was shown in the adopted TSP, however it was now obsolete due to engineering, environmental, and other technical considerations. The City continued to pursue the development of the connector road, only at a slightly different location. He showed the industrial connector road alignments previously studied on Hazel Dell Way and Otto Road and the new proposed alignment on Walnut Street. The benefits of the amendment were: it would reflect the new alignment for the planned industrial connector road including street classifications, truck routes, and improvement projects, it would allow the City to use Transportation System Development Charges for the project, it would memorialize the coordination between DKS and ODOT, and a technical memorandum would be affixed to the adopted TSP as an attachment and there would be no need for revisions to numerous tables and figures. Planning staff had received a call from one of the main property owners. They also heard from the Traffic Safety Commission who were in support of the project. Staff recommended the Planning Commission recommend approval of the amendment to the City Council.

Questions by the Hearing Body: Commissioner Taylor asked about the timing for the project to be constructed. Mr. Potter said there was no schedule at this time.

Chair Savory asked if any neighborhood meetings had been held. Mr. Potter said that had not occurred yet as it was not a development project. This was a conceptual update to the TSP.

Chair Savory wanted to make sure the neighborhoods that would be impacted were brought into the loop. Mr. Potter said this project would have a public outreach process in the future.

Joe Lindsay, City Attorney, said all of the property owners had been talking with the City and each other about this project on more than one occasion. Everyone was in support of the amendment.

Commissioner Trundy said the reason the hearing was continued was the Commission thought there wasn't enough background and there were items in the original staff report that referred to things that they didn't have reference to. Staff had done a good job of providing that information. If they approved this it did not mean it was absolutely going to happen. This was an amendment to the TSP to make it easier for the projects to be more consistent with each other.

Commissioner Taylor agreed that the information provided by staff answered their questions from the last hearing. This was more a procedural decision.

Mr. Potter said one of the questions was if this facility incentivized growth that would impact people in the northeast quadrant of the UGB. The code required the property owners in that area to develop a concept plan before it was annexed and there would be outreach and public meetings for that process. This action did not involve any development, but was a road project they wanted reflected in the TSP.

Commissioner Hutchinson was in support of the amendment. The issue before was the information was a little vague as to what exactly had changed. They had more elaboration on the environmental concerns and how the City was a property owner at one end. It all made sense and he was comfortable with moving forward.

Proponents: Bob Cambra, Canby resident, was testifying on behalf of the Traffic Safety Commission. On December 11 the Commission passed a motion in support of the connector road between the Industrial Park and Highway 99E at Walnut Street. They supported amending the TSP to reflect this needed priority. The project would help the flow of traffic in the Industrial Park and the redirected traffic flow would have a positive impact on community streets. They agreed with staff that these changes would preserve and protect the health, safety, and general welfare of the residents of the City. By reducing the incentive for truck traffic to drive through residential areas, it would provide better separation between modes of traffic and reduce safety issues related to the conflict between these traffic modes. It was in the best interest of both the Industrial Park occupants and the citizens of the City as a whole.

Steve Sieber with Trammell Crow explained how they were working on developments in the Industrial Park. They were interested in the efficient circulation of traffic and logistics in the park, particularly this connection to 99E. They were in support of staff's recommendation and encouraged the efforts to enhance the transportation network in and around the Industrial Park.

Opponents: None

Chair Savory closed the public hearing.

Motion: A motion was made by Commissioner Trundy and seconded by Commissioner Boatright to approve TA 20-02, minor amendments to the City's 2010 Transportation System Plan. Motion passed 5/0.

FINAL DECISIONS (Note: These were final, written versions of previous oral decisions. No public testimony.)

a. 2010 Transportation System Plan Amendments Final Findings (TA 20-02)

Motion: A motion was made by Commissioner Boatright and seconded by Commissioner Trundy to approve the final findings for TA 20-02 2010 TSP Amendments. Motion passed 5/0.

ITEMS OF INTEREST/REPORT FROM PLANNING STAFF

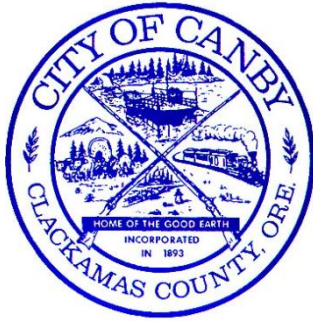
- Next regularly scheduled Planning Commission meeting – Monday, December 28, 2020

Laney Fouse Lawrence, Recording Secretary, said the December 28th meeting was canceled because there were no items on the agenda.

ITEMS OF INTEREST/GUIDANCE FROM PLANNING COMMISSION – None

ADJOURNMENT

Motion: A motion was made by Commissioner Trundy and seconded by Commissioner Hutchinson to adjourn the meeting. Motion passed 5/0. The meeting was adjourned at 7:35 p.m.



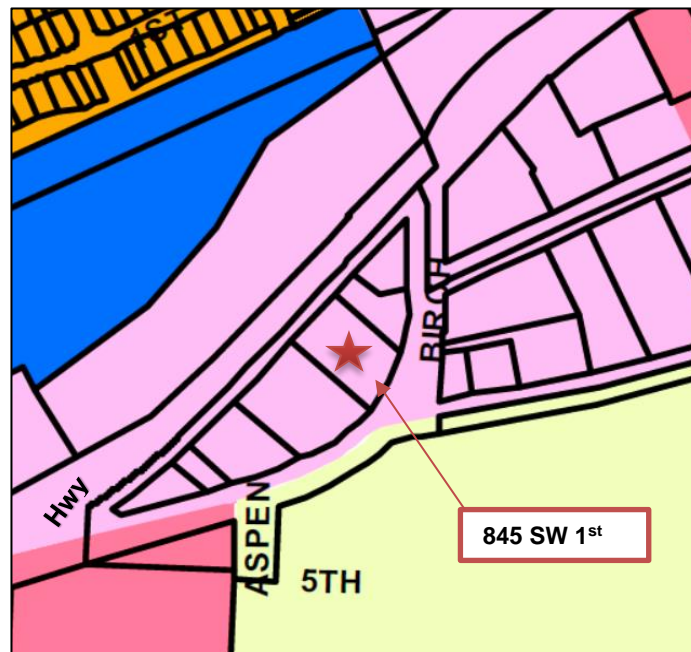
City of Canby

Staff Report DR 20-05 Taco Bell Redevelopment

HEARING DATE: January 11, 2021
STAFF REPORT DATE: December 30, 2020
TO: Planning Commission
STAFF: Brianna Addotta, Associate Planner

Applicant Request

The applicant is seeking Planning Commission approval to construct improvements to an existing restaurant, including moving the drive-through lane closer to the existing building, removing 12 parking stalls, installing a drive-through canopy, and updating the menu board and signage.



Staff Recommendation

Based on the application submitted and the facts, findings, and conclusions of this report, staff recommends **Approval** of DR 20-05 pursuant to the conditions of approval identified in Section IV of this Staff Report.

Property/Owner Information

Location: 845 SW 1st Avenue
Tax Lots: 41E04BB01001
Property Size: 0.64 acres
Comprehensive Plan: CM Commercial/Manufacturing
Current Zoning: C-2 Highway Commercial Zone
Owner: Tofte Trust
Applicant: Jeff Wright
Application Type: Site and Design Review (Type III)
City File Numbers: DR 20-05

Existing Conditions

The 0.64-acre site, zoned Highway Commercial (C-2) and located in the Outer Highway Commercial Overlay (OHC), is currently developed as a Taco Bell quick service drive thru restaurant. The existing building is 2,152 square feet with a drive thru, or 7.7% site coverage. The site is considered fully developed with 30 parking stalls including two ADA parking spots, lighting, a fenced garbage enclosure, and the required 15% site landscaping, including eight trees and assorted vegetation.

Project Overview

The proposal is a redevelopment of the existing use that retains the building footprint. The project will move the southern portion of the drive thru lane closer to the building, reduce the number of parking spaces to 18 consistent with the standard for the zone, increase landscaping to 20%, reduce the pavement coverage by 2%, install pervious pavement where appropriate, and replace the trash enclosure with a CMU block and wood slat enclosure.

Attachments

- A. Land Use Application – Site and Design Review, Type III
- B. Application Narrative and Criteria Responses
- C. Combined Plan Set
- D. Pre-Application Conference Minutes
- E. Neighborhood Meeting Minutes
- F. Public and Agency Comments

I. Staff Findings

Applicable Code Sections

Applicable criteria used in evaluating this application are listed in the following sections of the City of Canby's *Land Development and Planning Ordinance*:

- 16.08: General Provisions
- 16.10: Off-street Parking and Loading
- 16.28: C-2 Highway Commercial Zone
- 16.41: Downtown Canby Overlay Zone
- 16.42: Signs
- 16.46: Access Limitations on Project Density
- 16.49: Site and Design Review

The following analysis evaluates the proposed project's conformance with applicable approval criteria and other municipal code sections, as listed above in Section I and in the order that they appear in the Canby Municipal Code.

Section 16.08.160: Safety and Functionality Standards

The City will not issue any development permits unless the proposed development complies with the City's basic transportation safety and functionality standards, the purpose of which is to ensure that development does not occur in areas where the surrounding public facilities are inadequate. At the time of development permit application submittal, the applicant shall demonstrate that the property has or will have the following:

- A. Adequate street drainage;
- B. Provides safe access and clear vision at intersections;
- C. Public utilities are available and adequate to serve the project;
- D. Access onto a public street with the minimum paved widths as stated in Subsection E below.
- E. Adequate frontage improvements as follows:
 - b. For collector and arterial streets, a minimum paved width of 20 feet along the site's frontage.
- F. Compliance with mobility standards identified in the TSP. If a mobility deficiency already exists, the development shall not create further deficiencies. (Ord 1340, 2011)

The adequacy of public utilities and future public improvements to serve the proposed project was discussed at the pre-application conference held on September 15, 2020. Because the building use and footprint will be the same as exists currently, electrical, water, and sanitary sewer service are capable of serving the project site. Similarly, no increase in traffic is expected and access to the site will remain the same, so further study into safety and functionality is not required.

Finding 1: For the above reasons, Planning Staff finds this request is consistent with applicable provisions of the Canby Municipal Code.

Section 16.10: Off-Street Parking and Loading

As identified in Section 16.10.050 of the Municipal Code, take-out restaurants are required to provide 8 spaces per 1,000 square feet of floor area. The site as currently developed is considered over parked with 30 parking spaces for a 2,131 square foot building. The building footprint will not change, therefore the parking calculation is as follows:

$$2,131/8 = 17.05 \text{ or } 17 \text{ required parking spaces}$$

A total of 18 parking spaces are proposed, meeting this requirement. The parking has been located away from the drive thru lane, ensuring safe and efficient access to the parking spaces. A total of 5 bike parking spaces are provided adjacent to the building entrance. A condition of approval requires the dimensions of these spaces be provided before installation of racks.

The locations and dimensions of the existing driveways and sidewalks will be retained, their condition and compliance with ADA is required and subject to reconstruction as determined by Public Works. The parking has been located away from the drive thru lane, ensuring safe and efficient access to the parking spaces. Any work done along the Highway 99E frontage must be approved by ODOT.

Finding 2: For the above reasons, Planning Staff finds this request, as conditioned, is consistent with applicable provisions of the Canby Municipal Code.

Section 16.28: C-2 Highway Commercial Zone

As listed in Section 16.28.010 of the Canby Municipal Code, uses permitted outright in the C-2 Zone include a broad range of commercial and light industrial uses. Restaurants, including those featuring a drive-thru, are permitted outright in the C-2 zone. The proposed project meets dimensional standards of the C-2 zone including setbacks and building height. There is no minimum standard for lot coverage in the C-2 zone, however because this property is located within the DCO, a lot minimum applies and is addressed below.

Finding 3: For the above reasons, Planning Staff finds this request is consistent with applicable provisions of the Canby Municipal Code.

Section 16.41: Outer Highway Commercial Subarea (OHC) of the Downtown Canby Overlay (DCO)

The project site is located within the Outer Highway Commercial subarea of the Downtown Canby Overlay, meaning additional design standards apply. Applicable design elements are addressed below, beginning with the three design standards that cannot be achieved by the project as proposed.

The minimum floor area ratio of the OHC is 0.15, more than double what is proposed. The applicant states the nature of the use as a drive in restaurant along with the required number of parking spaces make meeting this standard infeasible.

The proposed building is 32'9" in width on the street sides (HWY 99E and 4th St.), less than the 50' requirement. Staff note the lot is deeper than it is wide and the shorter ends must accommodate driveways and parking as well as building mass.

There is no glazing proposed on the secondary street facing façade (4th St.) because the walk in cooler and storage closet are located there. The requirement is a minimum 45% glazing on the secondary street facing façade. Staff note this façade is short at 32'9" and is composed of brick with lap siding covering the walk in freezer. This elevation will largely be screened by vegetation.

Screening is required for roof mounted equipment, screening for the garbage enclosure is subject to material and location standards. A parapet line of sight detail has been provided for the roof equipment, and a roofed garbage enclosure constructed of CMU block and wooden slats with a painted metal panel gate. The garbage enclosure is located at the eastern corner of the lot away from the building and will be surrounded on three sides by landscaping.

Approximately 50.25% of the primary street facing façade will be glazed, meeting the 50% standard. The recessed entry door, transom and adjacent windows will be glazed clear on clear, and canopies over both entries will be provided.

Finding 4: For the above reasons, Planning Staff finds this request is, to the extent feasible, consistent with the intent of applicable provisions of the Canby Municipal Code.

Section 16.42: Signs

Although the proposed facility would have signage and conceptual signage plans have been provided, no signs are included in this application. Chapter 16.42, *Signage*, of the Municipal Code identifies requirements that will apply to signs proposed for the project at a future date.

Finding 5: For the above reasons, Planning Staff finds this request is consistent with applicable provisions of the Canby Municipal Code.

Section 16.43: Outdoor Lighting Standards

The site is located in the LZ2 lighting zone, requiring medium ambient illumination. Shielded light fixtures mounted to the building and several pole lights are shown on the proposed plans and appear consistent to what is installed on the existing building and site. One existing light pole is proposed to be removed and replaced with a different base. Staff have provided a Condition of Approval requiring a Lighting Plan be submitted in accordance with 16.43.110 before final occupancy.

Finding 6: For the above reasons, Planning Staff finds this request, as conditioned, is consistent with applicable provisions of the Canby Municipal Code.

Section 16.46: Access Limitations on Project Density

Section 16.46.040 of the Municipal Code addresses the spacing of accesses onto public streets. The driveway access onto 4th St. is more than the required 100' from any other driveway. The driveway access onto Highway 99E is less than the required 660' from any other driveway, but because the driveways are existing and will remain, it is considered an existing nonconformity and is acceptable as built. Frontage improvements including lighting are required along the Highway 99E frontage as required by ODOT and Canby Utility.

Finding 7: For the above reasons, Planning Staff finds this request, as conditioned, is consistent with applicable provisions of the Canby Municipal Code.

Section 16.49: Site and Design Review

In review of a Type III Site and Design Review Application, the Board shall, in exercising or performing its powers, duties or functions, determine whether there is compliance with the following:

1. The proposed site development, including the site plan, architecture, landscaping and graphic design, is in conformance with the standards of this and other applicable city ordinances insofar as the location, height and appearance of the proposed development are involved; and
2. The proposed design of the development is compatible with the design of other developments in the same general vicinity; and

3. The location, design, size, color and materials of the exterior of all structures and signs are compatible with the proposed development and appropriate to the design character of other structures in the same vicinity.
4. The proposed development incorporates the use of LID best management practices whenever feasible based on site and soil conditions. LID best management practices include, but are not limited to, minimizing impervious surfaces, designing on-site LID stormwater management facilities, and retaining native vegetation.
5. The Board shall, in making its determination of compliance with this Ordinances, shall use the matrix in Table 16.49.040 to determine compatibility unless this matrix is superseded by another matrix applicable to a specific zone or zones under this title. An application is considered to be compatible with the standards of Table 16.49.040 if the following conditions are met: a. The development accumulates a minimum of 60 percent of the total possible number of points from the list of design criteria in Table 16.49.040; and b. At least 10 percent of the points used to comply with (a) above must be from the list of LID Elements in Table 16.49.040.
6. Street lights installation may be required on any public street or roadway as part of the Design Review Application.

Finding 8: The proposed project, including its site plan, architecture, and landscaping, is compatible with the surrounding context of the project site, surrounded by similar uses and takes access off of Highway 99E. The redevelopment will retain the existing building footprint and accesses and provide updates to the site in accordance with design review criteria. Existing utilities are sufficient to serve the proposed use. Impervious surfaces are being reduced by 2.6% and pervious pavement is being installed where appropriate at driveways, parking access and spaces, and drive thru lane. The applicant has provided a completed matrix and supporting plans showing compliance with the 60% total point threshold as well as the 10% LID elements requirement. For the above reasons, Planning Staff finds this request is consistent with applicable provisions of the Canby Municipal Code.

Site Design Review Matrix. The proposed project earns 60% of the total point available in the design review matrix, 10% of which are from LID elements- primarily the pervious pavement intended to replace the concrete and asphalt onsite.

Bicycle and Pedestrian Facilities. The submitted materials demonstrate compliance with standards related to bicycle and pedestrian facilities. The proposed internal walkway system facilitates connections to the surrounding area. Sidewalks are provided along both street frontages connecting to the building entrances. Bicycle parking is provided within 15' of the building entrance.

Landscaping. The submitted materials, including the Landscaping Calculation Form in Attachment C to this Staff Report, demonstrate compliance with City landscaping standards. The project site is required to have a minimum of 15% landscaped area and the proposal provides 20%. As identified in the code, landscaping and exterior improvements shall be completed prior to issuance of certificates of occupancy.

As shown in the submitted Landscape Plan, the proposed project would have layered landscaping along its two street frontages, include street trees in the planter strip and a combination of trees, bushes, and other plantings between the sidewalk and parking

areas. This is consistent with Subsection 16.49.120 (G) of the Municipal Code, which states that “screening of parking and loading areas is required.”

Subsection 16.49.120 (E) requires all parking areas with more than 16 spaces shall include landscaping islands to “break up the parking area into rows of not more than 8 contiguous parking spaces.” This requirement is met. An irrigation system is proposed.

II. Public and Agency Comments

Notice of this application and the opportunity to provide comment was forwarded to property owners and residents within a 500-foot radius and to applicable public agencies. At the time of this writing, no public comment and two agency comments were received:

A. Agency Comments

1. **City Wastewater Pretreatment Coordinator (D. Hughes).** A grease interceptor is to be installed in place of the existing grease trap. These requirements are referenced below under Section IV of this Staff Report
2. **City Engineer (H. Ibrahim).** The condition of ADA compliance of the existing sidewalk along Highway 99E needs to be evaluated to determine if it is satisfactory or shall be reconstructed. The existing driveway along Highway 99E needs to be evaluated to determine if it is satisfactory to shall be reconstructed. The current private storm system should be adequate. The improvements along SW 4th Ave along the site frontage were constructed a few years ago and no new improvements are required. These requirements are listed below under Section IV of this Staff Report as conditions of approval.
3. **Interim Public Works Director (J. Nelzen).** Coordination with ODOT is required for any work done along the HWY 99E frontage. Street lighting will be required and should meet Canby Utility standards specific to Highway 99E. These requirements are listed below under Section IV of this Staff Report as conditions of approval.

III. Conclusion

Staff has reviewed the applicant’s narrative and submitted application materials and finds that this Site and Design Review application conforms to the applicable review criteria and standards, subject to the conditions of approval noted in Section IV of this report.

IV. Conditions of Approval

Site Access:

1. City inspection of driveways and sidewalks for overall condition and for ADA compliance is required. (H. Ibrahim)
2. The applicant will coordinate with ODOT and Canby Utility is required for frontage work along Highway 99E. Street lighting will be required. (J. Nelzen)

Project Design/Site Plan:

3. The applicant shall provide a bicycle parking detail showing compliance with the dimensional standards of bicycle parking as explained in CMC 16.49.065 (B. Addotta)
4. A lighting plan shall be submitted to the City consistent with Chapter 16.43, *Outdoor Lighting Standards*, of the Municipal Code. This shall include an exhibit(s) demonstrating that the proposed light fixtures would be shielded and that light generated would not exceed the maximum lumens identified in Table 16.43.070 of the Canby Municipal Code. (B. Addotta)

Building Permits:

5. The project applicant shall apply for Clackamas County Building permits and a City of Canby Erosion Control Permit from the Canby Public Works Department. (B. Addotta)
6. Clackamas County Building Codes Division will provide structural, electrical, plumbing, and mechanical plan review and inspection services for construction of the project. (B. Addotta)

Prior to Occupancy:

7. Prior to occupancy of the facility, all landscaping plant material indicated on the submitted landscape plan shall either be installed and irrigated as proposed, or sufficient security (bonding, escrow, etc.) shall be provided pursuant to the provisions of CMC 16.49.100 (B). The applicant should be aware that the City street tree fee is now \$250 per tree if planted by the City, and the City recommends submittal of a separate Street Tree Plan to assist in the location, species, and total tree count. (B. Addotta)



City of Canby
Planning Department
222 NE 2nd Avenue
PO Box 930
Canby, OR 97013
(503) 266-7001

LAND USE APPLICATION

SITE AND DESIGN REVIEW

Downtown Canby Overlay - Type III

APPLICANT INFORMATION: (Check ONE box below for designated contact person regarding this application)

☒ Applicant Name: Jeff Wright Phone: 503 226-0622
Address: 812 SW Washington, Suite 800 Email: wright@mca-architects.com
City/State: Portland, OR Zip: 97205

☐ Representative Name: Tim Tofte Phone: 503 329-1713
Address: P O Box 97 Email: ttofte@vmgusa.com
City/State: Aurora, OR Zip: 97002

☒ Property Owner Name: D'Anne Tofte (Tofte Trust) Phone: 503 266-9905
Signature: *D'Anne Tofte, Trustee*
Address: 1574 S Redwood St Email: -----
City/State: Canby, OR Zip: 97013

☐ Property Owner Name: _____ Phone: _____
Signature: _____
Address: _____ Email: _____
City/State: _____ Zip: _____

NOTE: Property owners or contract purchasers are required to authorize the filing of this application and must sign above

- ① All property owners represent they have full legal capacity to and hereby do authorize the filing of this application and certify that the information and exhibits herewith submitted are true and correct.
- ② All property owners understand that they must meet all applicable Canby Municipal Code (CMC) regulations, including but not limited to CMC Chapter 16.49 Site and Design Review standards.
- ③ All property owners hereby grant consent to the City of Canby and its officers, agents, employees, and/or independent contractors to enter the property identified herein to conduct any and all inspections that are considered appropriate by the City to process this application.

PROPERTY & PROJECT INFORMATION:

845 SW 1st Ave 28,110 sq ft 41E04BB01001
Street Address or Location of Subject Property Total Size of Property Assessor Tax Lot Numbers

Taco Bell Restaurant C-2
Existing Use, Structures, Other Improvements on Site Zoning Comp Plan Designation

Renovation of the existing Taco Bell Restaurant with same building footprint with site modifications to meet current requirements.
Describe the Proposed Development or Use of Subject Property

STAFF USE ONLY				
FILE #	DATE RECEIVED	RECEIVED BY	RECEIPT #	DATE APP COMPLETE

APPLICABLE CODE SECTIONS / PLANNING DOCUMENTS:		
Chapter	Section	Response
16.08 General Provisions	16.08.110 – Fences (E)	No existing or new fences
	16.08.160 – Safety and Functionality Standards	A. Existing building currently operating, proposed replacement keeps use and occupancy - it is assumed existing street drainage will be adequate.
		B. 99E, SW Birch, and SW 4th are well established streets within the City of Canby; it is anticipated that these streets and associated intersections will have safe access and clear vision.
		C Existing and Proposed building has same use and occupancy, and will maintain it's current footprint and height - it is assumed that the public utilities will be adequate.
		D Access to 99E (60') and SW Birch (>30') Provided
		E Proposed building will not change footprint from existing - frontage provided.
16.10 Off-Street Parking and Loading		F Proposed building located on existing established lot - it is anticipated that the current mobility standards will be met/maintained on adjacent city streets, intersections, as well as on the site itself.
	16.10.050 – Parking Standards designated	8.00 spaces per 1,000 gross square feet of floor area for Take-out Restaurant (2,131sqft/1000) = 2.131 x 8 = 17.05 or 18 stalls, 18 stalls are provided a reduction from 30 stalls
	16.10.070 – Parking Lots and Access	All stalls meet dimensional standards
	Pavement	Existing = 21,525 square feet, proposed = 20,815 square feet (-2.6% pavement). Existing pavement is asphalt and will be removed; pervious pavement replacement proposed.
	Driveways	Existing (2) driveways locations to remain (1) at 99E and (1) along 4th Ave/Birch St. Existing pavement to be removed and replaced with permeable pavement.
	Maneuvering	All areas of the Parking Area (Driveways, drive up lane, parking access lanes, parking spaces) shall have new pervious pavement to replace the current use of asphalt and concrete. Areas for maneuvering into parking stalls shall not be affected by the drive up lane, wither access driveway, or pedestrian access.
	Parking Bumpers / wheel stops	Parking bumpers will be provided at all parking spaces.
	Accessible Parking	Per ORS 447.233 and OSSC 2019 Ch. 11: 36 existing stalls, 2 existing accessible provided (1 van accessible)
	Pedestrian access and egress from side walk to entry	The location of the existing ADA path from the established sidewalk along 99E will be maintained - It will be a 4' wide sidewalk through the new frontage landscaping, leading to a traffic striped path through the parking area, then to the building adjacent sidewalk to the entry. All sloping along this path will have the required ADA slopes.

RECEIVED

By Canby Planning Brianna Addotta at 9:51 am, Nov 10, 2020

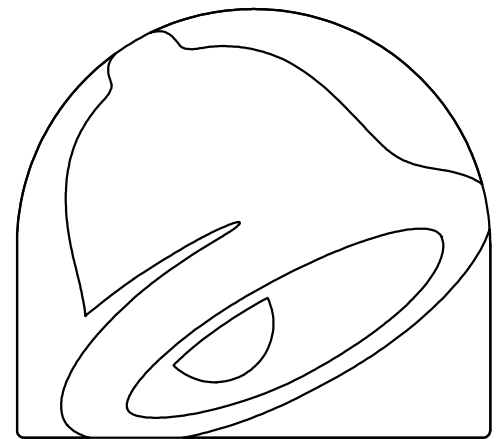
	Driveways shall meet ADA requirements	Existing driveway locations will not change. Existing driveway elevations at existing sidewalk will be maintained. Driveways will not interfere with: Accessible parking, vehicle mobility, pedestrian traffic. They are currently able to handle the amount of traffic flow on and off of the site, not interfering with the public roadways.
	Driveways shall be limited to one per property except for certain uses including drive through facilities	(2) Existing driveways to remain at this drive-through facility.
	16.10.080 – Street Tree Plan	
	Planting a tree every 30 lineal feet of street frontage	(3) new street trees to be provided
	16.10.090 – Drive-up Uses	
	Each lane shall provide a minimum capacity for two (2) to eight (8) automobiles	Drive-up stacking capacity at (8) automobiles
	The stacking area shall not interfere with safe and efficient access to other parking areas on the property	Drive-up lane does not border parking spaces on south and east sides, and is separated from parking spaces on north side by 30'-9" as well as a drive-up lane curb.
	16.10.100 – Bicycle Parking	
	Dimensions and characteristics 6'x2'	Each proposed bike space is 6'x2'
	Bicycle parking shall be located in well-lit, secure locations within fifty (50) feet of the main entrance to a building	Bicycle parking within 15' of entrance, and located under a relocated light pole
	Drive-in Restaurants - 1 space per 1000 sq ft	Proposed building 2090 sqft = (3) bicycle spaces required; (5) bicycle spaces proposed
	16.28.030 – Development Standards	
16.28 C-2 Highway Commercial Zone	Minimum lot area: none; Minimum width and frontage: none	No requirements for minimum area or frontage
	Street yard: twenty feet where abutting Highway 99-E	73'-0" Provided
	Interior yard: none, except ten feet where abutting a residential zone	Project does not abut a residential zone
	Rear yard: none, except ten feet where abutting a residential zone.	Project does not abut a residential zone
	Maximum building height: Freestanding signs: thirty feet; All other structures: forty-five feet.	Existing sign to remain, Proposed Building height = 24'-0"
	Maximum lot coverage: sixty percent	Proposed building = 7.4% of lot area.
	Vision clearance distances shall be fifteen feet from any alley or driveway	Existing and Proposed building is well outside of the 15' clearance limitation. Required street trees and other landscaping will also be outside of the 15' clearance range.
	sidewalks eight feet in width shall be required	Existing to remain sidewalk along Highway 99E at 8'-0" in width. Existing to remain sidewalk along SW Birch at 5'-0" (per 16.28.030(F)(2)ab.
	All setbacks to be measured from the foundation line of the building. Overhangs shall not exceed two feet	All setbacks are measured from foundation line. There are no overhangs.
	16.41 Downtown Canby Overlay Zone	
	16.41.050 – Development Standards (A.2, B.2, C.2) (E.2 & F.2)	
	As applicable to the LZ2 zone	
	Minor additions. Additions or modifications of less than fifty (50) percent to existing uses, in terms of additional dwelling units, gross floor area, or parking spaces, shall meet the requirements of this Code with regard to shielding and lamp type for all new lighting.	

16.43 Outdoor Lighting Standards	LZ 2 Landscape and facade lighting 1600 lumens or less; ornamental lights of 800 lumens or less. Partly Shielded 800 lumens or less	
	Lighting mounted onto poles or any structures intended primarily for mounting of lighting shall not exceed a mounting height of 40% of the horizontal distance of the light pole from the property line,	
	Lighting mounted onto buildings or other structures shall not exceed a mounting height greater than 4 feet higher than the tallest part of the building	
	Lighting for Driveways, Parking and Transit 37.5 feet	
	Lighting for Walkways, Plazas and other Pedestrian Area 18.0 feet	
	All Other Lighting - 15 feet	
	Lighting Plan Required to be submitted showing site plan with location of all buildings and building heights, parking, and pedestrian areas. Location and height (above grade) of all proposed and existing luminaires. Luminaire details including type and lumens of each lamp, shielding and cutoff information. Control descriptions including type of control	
16.46 Access Limitations on Project Density	16.46.030 – Access Connection	
	Spacing of accesses on City streets is 330 feet between driveways on Arterial streets and 100 feet on Collector streets	These are existing driveways to remain. There is only one driveway from this property onto Arterial a street and only one driveway from this property onto Collector street. The distance on the Arterial is less than 660 feet to the next driveway. On the rear driveway the adjacent driveways have more than 100 foot separation.
	16.46.070 – Exception standards	
	An exception may be allowed if: Indirect or restricted access cannot be obtained or reasonably applied to mitigate the condition; no alternative access is available from a street with a lower functional classification than the primary roadway.	Both of these two existing driveways are allowed by the use and all adjacent properties have access off of Hwy 99. The removal of the main access drive would be a hardship to the business. None of the adjacent businesses are meeting the 660 foot requirement, and due to the frontage of the properties the 660 foot distance is not practical.
	Access Management Plan Required	No change in driveways are expected.
	The minimum study area shall include the length of the site's frontage plus the distance of the applicable access spacing standard, measured from each property line or access point(s), whichever is greater	Existing driveways are to be maintained.
	The potential safety and operational problems associated with the proposed access point.	Existing driveways are to be maintained.
	A comparison of all alternatives examined.	We have looked at alternates; although removing the driveway on Hwy 99 would be a undue hardship on this business compared to adjacent businesses
	A list of improvements and recommendations necessary to implement the proposed access modification	The drive along Hwy 99 will be modified to ODOT standards for accessible travel along the sidewalk across the drive.

	Traffic safety concerns, expected or planned traffic increases due to development or road construction, and emergency service provision issues.	Traffic is expected to remain consistent since this business has been in the same location since 1995. The drives are to remain in the same location and should not modify any of the existing conditions.
16.49 Site and Design Review	16.49.040 – Criteria and Standards	The proposed renovations meet the 60% and 10% LID
	16.49.065 – Bicycle and Pedestrian Facilities	There is an existing walk that will remain from Hwy 99 to the two entries. The walk is at a grade of less than 1:20 so no railings are required. A curb cut is located in front of the building for both pedestrian and bicycle traffic and access from the accessible parking stall.
	16.49.080 through 16.49.120 – Landscaping Criteria	The landscaped area will be landscaped, design to occur during the construction document portion of the design. Existing trees will be retained. The landscaping area is 20.6%, above the 15% required due to the landscaped area setbacks.
16.89 Application and Review Procedures	16.89.040 - Type II procedure: Site and Design Review Type II	
	16.89.050 - Type III procedure: Site and Design Review Type III	
	16.89.070 – Neighborhood Meetings (Type III)	Scheduled for October 08 at 10:00 AM
	16.89.080 – Application Requirements and Completeness	

TACO BELL

DRIVE THRU RESTAURANT CUSTOM ENDEAVOR MEDIUM40



TACO
BELL™

845 SE 1ST AVENUE
CANBY, OR 97013

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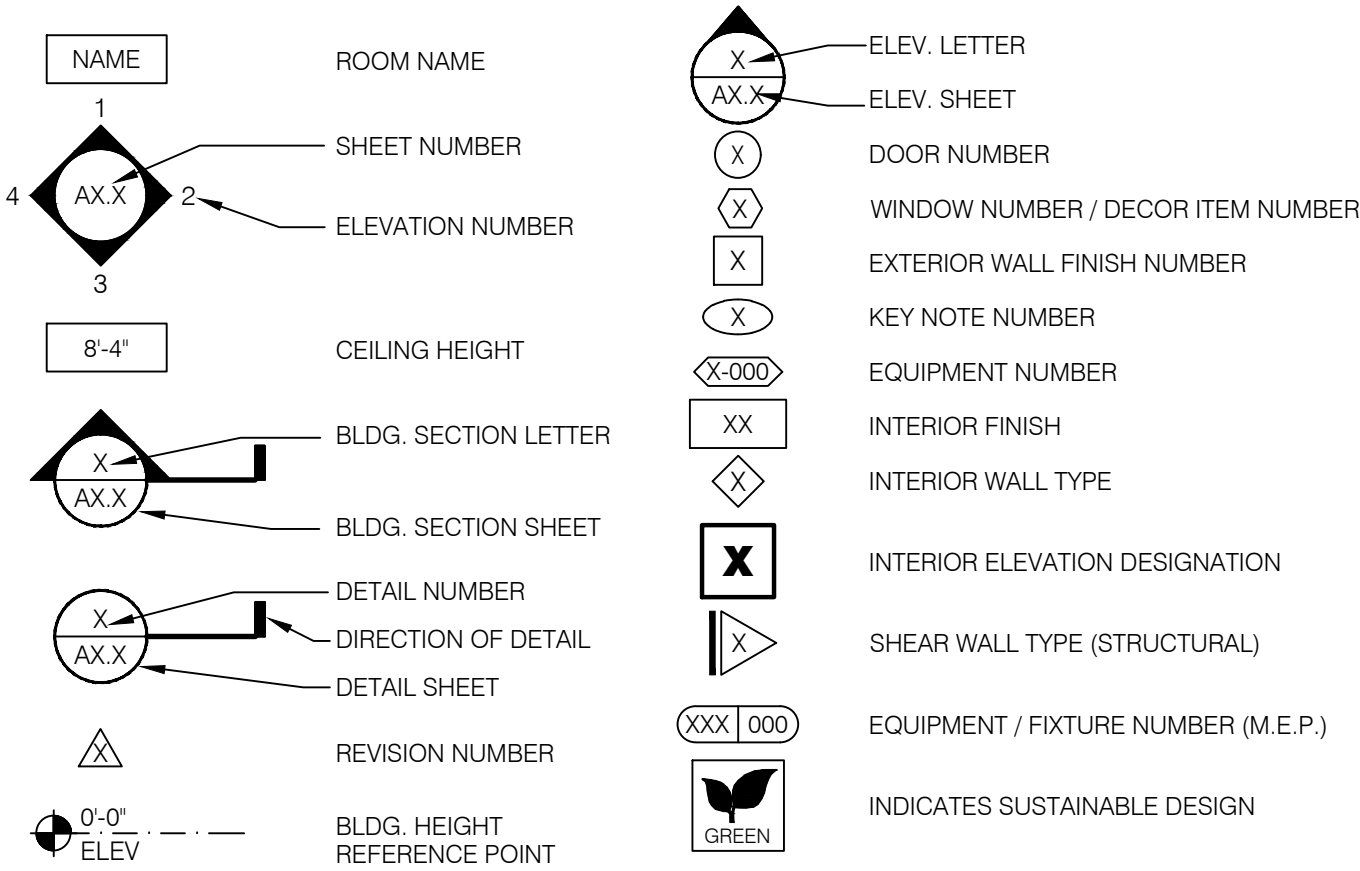
By Canby Planning Brianna Addotta at 9:52 am, Nov 10, 2020

- A. ALL WORK SHALL CONFORM TO THE 2015 EDITION OF THE INTERNATIONAL BUILDING CODE, AND ALL OTHER APPLICABLE CODES, STANDARDS, AND REGULATIONS OF CLARK COUNTY.
- B. IT IS INTENDED THAT A COMPLETE OCCUPIABLE BUILDING PROJECT IS PROVIDED.
- C. THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION (A.I.A. A201 2017) ARE A PART OF THESE CONTRACT DOCUMENTS. A COPY IS ON FILE AT THE ARCHITECT'S OFFICE.
- D. DRAWINGS ARE BASED ON A SURVEY, DATED AUGUST 13, 2020. PREPARED BY HARPER HOUF PETERSON RIGHELLIS, INC. AND IS INCLUDED IN THESE DOCUMENTS.
- E. DO NOT SCALE THESE DRAWINGS. VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. ANY DISCREPANCIES IN THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO STARTING WORK.
- F. ALL PROPOSED SUBSTITUTIONS SHALL BE APPROVED BY THE YUM BRANDS CONSTRUCTION MANAGER, IN WRITING, PRIOR TO INSTALLATION.
- G. RETAIN THE PROJECT GEOTECHNICAL ENGINEER TO PROVIDE OBSERVATION AND TESTING SERVICES DURING THE GRADING (INCLUDING UTILITY TRENCHES) PHASE OF CONSTRUCTION AS RECOMMENDED IN THE GEOTECHNICAL REPORT. ALL TESTING AND INSPECTION REPORTS, INCLUDING FINAL SUMMATION LETTER, SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND OWNER.
- H. CM PROVIDE EACH SUBCONTRACTOR WITH A COMPLETE AGENCY-PERMITTED DRAWING SET AT TIME OF CONSTRUCTION.
- I. ALL ABBREVIATIONS INCLUDED FOLLOW INDUSTRY STANDARDS. CONTACT ARCHITECT IF ANY ABBREVIATIONS ARE NOT CLEAR.
- J. GC SHALL SUPPLY AND INSTALL ALL ASPECTS OF THE PROJECT DESCRIBED IN THIS DRAWING SET UNLESS OTHERWISE NOTED. SEE SCOPE OF WORK FOR EXCEPTIONS.
- K. GRAPHIC AND WRITTEN INFORMATION ON DRAWINGS SHALL BE COORDINATED WITH ALL TRADES PRIOR TO INSTALLATION.
- L. ALL MATERIALS STAGED TO BE USED FOR CONSTRUCTION SHALL BE PROTECTED FROM EXCESSIVE MOISTURE. IF THEY ARE EXPOSED TO MOISTURE THEY SHOULD BE ADEQUATELY DRIED BEFORE ENCAPSULATED INTO THE BUILDING.

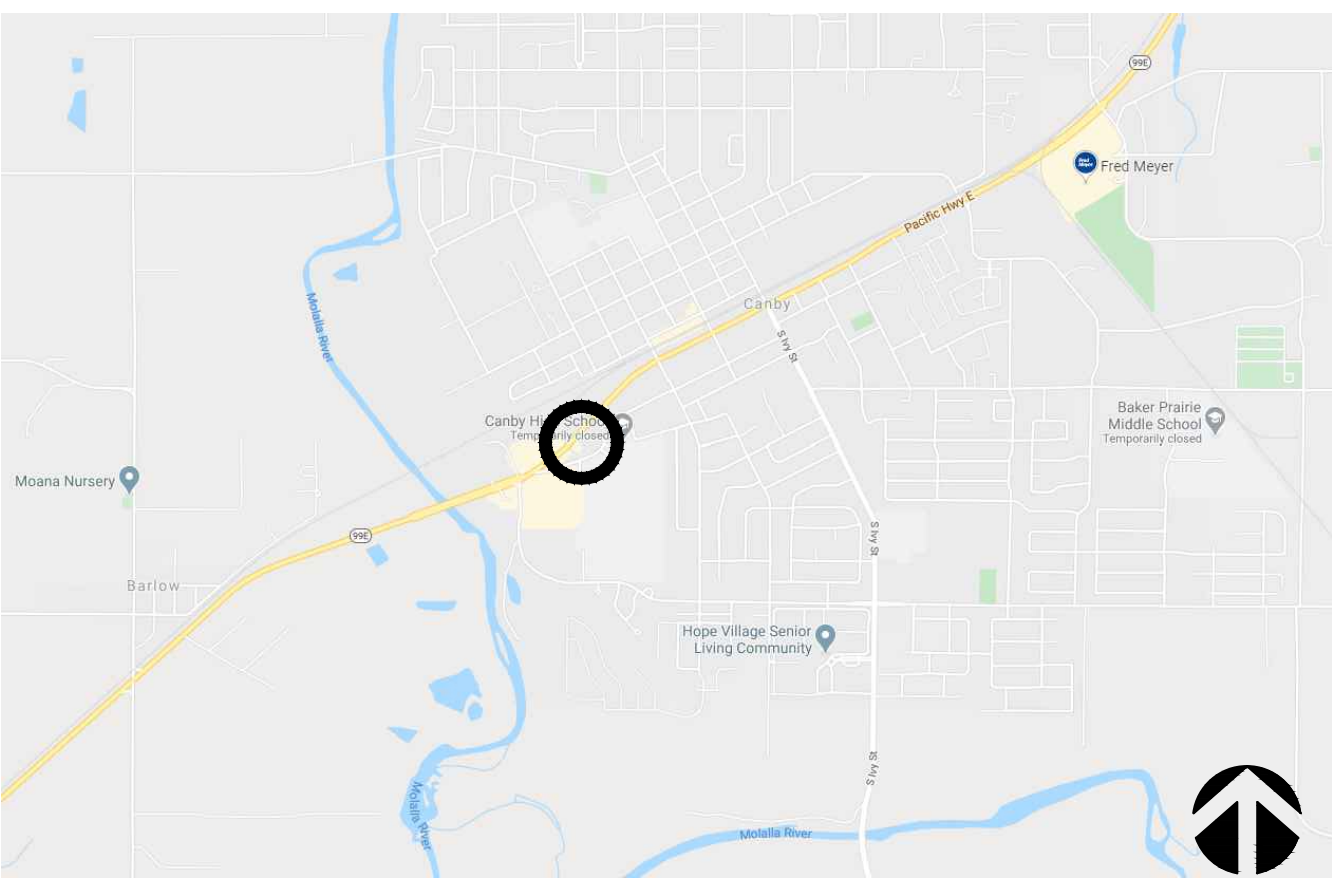
PHONE LINES: 25 PAIR CABLE IN 2" CONDUIT
ELECTRIC SERVICE: 600 AMPS / 3 PHASE / 120-208 VOLT
GAS: 710,000 BTU/H

WIND SPEED: 115 M.P.H. / EXPOSURE B
EARTHQUAKE ZONE: D
ROOF SNOW LOAD: 30 PSF

PROJECT GENERAL NOTES



REFER TO STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL SHEETS FOR SPECIFIC SYMBOLS



VICINITY MAP

LEGAL JURISDICTION:	CITY OF CANBY / CLACKAMAS COUNTY BUILDING DEPT
BUILDING CODE:	2019 OREGON STRUCTURAL SPECIALTY CODE
MECHANICAL CODE:	2019 OREGON MECHANICAL SPECIALTY CODE
PLUMBING CODE:	2017 OREGON PLUMBING SPECIALTY CODE
ELECTRICAL CODE:	2017 OREGON ELECTRICAL SPECIALTY CODE
ACCESSIBILITY:	ICC A117.1
ENERGY CODE:	2019 OREGON ZERO ENERGY READY COMMERCIAL CODE

BUILDING AREA:	2,131 S.F. GROSS
SEATING:	56
OCCUPANCY:	A2
TYPE CONSTRUCTION:	TYPE VB - UNPROTECTED

AREA AND OCCUPANT LOAD	AREA	FACTOR	OCCUPANTS
DINING ROOM	864 S.F.	1:15 S.F.	58
SERVING	76 S.F.	1:100 S.F.	1
QUEING	36 S.F.	1:5 S.F.	8
KITCHEN	600 S.F.	1:200 S.F.	3
OFFICE	39 S.F.	1:100 S.F.	1
ACCESSORY STORAGE	360 S.F.	1:300 S.F.	2
RESTROOMS & PASSAGE	156 S.F.	0	0
TOTAL	2,131 S.F.		73

PROJECT SUMMARY

THE WORK WILL INCLUDE BRINGING THE EXTERIOR OF THE BUILDING TO THE CURRENT CORPORATE STANDARDS. ALONG WITH REPLACING THE EXISTING EXTERIOR WALK-IN COOLER. IN ADDITION, MODIFICATIONS TO THE SITE TO BRING THE FACILITY UP TO CURRENT CITY OF CANBY REQUIREMENTS. WHICH WILL REQUIRE REMOVING 12 PARKING STALLS AND RELOCATING THE DRIVE THRU LANE TOWARDS THE BUILDING TO ALLOW FOR THE REQUIRED LANDSCAPING. AT THE DRIVE THROUGH, THE EXISTING MENU BOARD WILL BE REPLACED WITH A DIGITAL MENU BOARD IN THE SAME LOCATION AND SIZE, A NEW CANOPY WILL BE ADDED TO COVER THE DRIVER'S WINDOW. AS PART OF THIS PROJECT, NEW BUILDING AND DIRECTIONAL SIGNS WILL BE REPLACED TO FOLLOW THE TYPICAL TACO BELL STANDARDS. THE EXISTING PYLON SIGN WILL REMAIN.

SITE:

- REMOVE ALL PAVED SURFACES AND INTERIOR CURBS TO MAKE ROOM FOR NEW LANDSCAPING AND REPLACE WITH PERVIOUS PAVING AND NEW CONCRETE CURBS
- REMOVE AND REINSTALL POLE LIGHT AT FRONT CORNER OF BUILDING NEXT TO DRIVE THRU LANE TO BRING DRIVE THRU LANE CLOSER TO BUILDING
- REPLACE CURBS ON SOUTH SIDE OF BUILDING FOR RELOCATED DRIVE-THRU
- PLACE NEW CURBS AT ALL LANDSCAPING
- REPLACE GARBAGE ENCLOSURE FROM CHAIN LINK TO BRICK WALLS WITH ROOF COVER
- PLACE NEW WALKS AT NEW NORTH ENTRY AND EAST SERVICE DOOR
- PLACE 5,955 SQ FT OF NEW LANDSCAPING INCLUDING 12 NEW TREES
- REPLACE DRIVE-THRU ORDER BOARD AND PLACE WITH NEW CANOPY

BUILDING:

- DEMOLISH ENTRY AT WEST END OF BUILDING
- DEMOLISH COOLER AT EAST SIDE OF BUILDING
- RELOCATE EXTERIOR ELECTRICAL ENTRY GEAR FROM EAST WALL TO NORTH WALL
- PLACE NEW COOLER FREEZER ON EAST END OF BUILDING
- RENOVATE DINING AREA WALLS WITH STOREFRONT AND ENTRIES AND REFRAME ROOF
- STRIP EXTERIOR WALLS DOWN TO FRAMING AND PLACE NEW SHEATHING AND APPLY NEW FINISH.
- ADD CANOPY AT EXISTING DRIVE THRU WINDOW

DESIGN CRITERIA

PROPERTY OWNER TOFTE TRUST 1574 S REDWOOD STREET CANBY, OR 97013	GEOTECHNICAL ENGINEER INTERTEK PSI 6032 N. CUTTER CIRCLE, SUITE 480 PORTLAND, OR 97217 T: (503) 289-1778 F: (503) 289-1918
FRANCHISE OPERATOR PACIFIC BELLS, INC. 111 W. 39th STREET VANCOUVER, WA 98660 PHONE: (360) 694-7855	CIVIL ENG./LANDSCAPE HARPER HOUF PETERSON RIGHELLIS, INC. 205 SE SPOKANE STREET, SUITE 200 PORTLAND, OREGON 97202 CONTACT: STEVEN ENTENMAN PHONE: (503) 221-1131
CONSTRUCTION MANAGER D.A. BENTLEY CONSTRUCTION, LLC 10709 N.E. COXLEY DRIVE VANCOUVER, WA 98662 CONTACT: DAN ALLEN PHONE: 360-695-9234	MECHANICAL ENGINEER PARACLETE PS, INC. 7510 NE VANCOUVER MALL DRIVE VANCOUVER, WA 98622 CONTCOT: SCOTT CRUZ PHONE: 360-254-9234
ARCHITECT MCA ARCHITECTS P.C. 812 SW WASHINGTON ST, SUITE 800 PORTLAND, OREGON 97205 CONTACT: DANIEL H. GATES PHONE: 503-226-0622	ELECTRICAL ENGINEER ATHAY & ASSOCIATES, INC. 411 NE 63RD STREET VANCOUVER, WA 98665 CONTACT: RONALD ATHAY PHONE: 360-574-0199
STRUCTURAL ENGINEER HARPER HOUF PETERSON RIGHELLIS, INC. 205 SE SPOKANE STREET, SUITE 200 PORTLAND, OREGON 97202 CONTACT: STEVEN ENTENMAN PHONE: (503) 221-1131	PACIFIC BELLS CONSTRUCTION MANAGER KARI HAMRELL PHONE: 714-724-9415 KHAMRELL@PACIFICBELLS.COM

DESIGN CONTACTS

SEWER CANBY SEWER DEPARTMENT 222 NW 2ND AVE CANBY, OR 97013 PHONE: (503) 266-0798	TELEPHONE AT & T Contact: ORDERING SERVICES DEPARTMENT Phone: 800-222-0300
WATER/ELECTRIC CANBY UTILITY 1265 SE 3RD AVE CANBY, OR 97013 PHONE: 503 266-1156	HEALTH CLACKAMAS COUNTY HEALTH DEPARTMENT 2051 KAEN RD #367 OREGON CITY, OR 97045 CONTACT: PHONE: (503) 742-5300
GAS NW NATURAL GAS 250 SW TAYLOR ST PORTLAND, OR 97204 CONTACT: CUSTOMER SERVICE PHONE: 503 226-4211	FIRE CANBY FIRE DISTRICT 221 S PINE ST CANBY, OR 97013 CONTACT: PHONE: 503 266-5851

UTILITY CONTACTS

TITLE	REVISIONS
T1.0 TITLE SHEET	11/04/20
G1.0 TRASH ENCLOSURE DETAILS	
CIVIL/LANDSCAPE	
C1.0 EXISTING CONDITIONS PLAN	
C1.1 EXISTING CONDITIONS LEGEND	
C1.2 SITE GENERAL NOTES	
C1.3 SITE DEMOLITION PLAN	
C2.0 SITE PLAN	
C2.1 GRADING PLAN	
C3.0 UTILITY PLAN	
C4.0 DETAILS	
C4.1 DETAILS	
C4.2 DETAILS	
EC1.0 EROSION CONTROL PLAN	
EC2.0 EROSION CONTROL DETAILS	
L1.0 PLANTING PLAN	
L1.1 PLANTING DETAILS	
L2.0 PLANTING PLAN	
L2.1 PLANTING DETAILS	
L2.2 PLANTING DETAILS	
STRUCTURAL	
S1.0 NOTES & ABBREVIATIONS	
S2.0 FOUNDATION/FLOOR PLAN & DETAILS	
S3.0 ROOF FRAMING PLAN & SCHEDULES	
S4.0 STRUCTURAL DETAILS	
S5.0 STRUCTURAL DETAILS	
ARCHITECTURAL	
A0.1 EXISTING / DEMOLITION SITE PLAN	
A0.2 SITE PLAN	
A0.3 SITE DETAILS	
A1.0 EXISTING / DEMOLITION FLOOR PLAN	
A1.1 FLOOR PLAN	
A1.2 DOOR & WINDOW ELEVATIONS & SCHEDULES	
A2.0 EQUIPMENT AND SEATING PLAN	
A2.1 EQUIPMENT SCHEDULE	
A3.0 ROOF PLAN	
A4.0 EXISTING EXTERIOR ELEVATIONS	
A4.1 EXTERIOR ELEVATIONS	
A4.2 EXTERIOR ELEVATIONS	
A5.0 WALL SECTIONS	
A5.1 WALL SECTIONS	
A5.2 WALL SECTIONS	
A6.0 CONSTRUCTION DETAILS EXTERIOR	
A6.1 CONSTRUCTION DETAILS DOOR / WINDOW	
A6.3 FINISH DETAILS	
A6.4 CONSTRUCTION DETAILS INTERIOR/EXTERIOR	
A6.5 CONSTRUCTION DETAILS	
A7.0 FLOOR FINISH PLAN	
A7.1 REFLECTED CEILING PLAN	
A7.2 FINISH SCHEDULE	
A8.0 INTERIOR ELEVATIONS DINING ROOM	
A8.1 INTERIOR ELEV. ENLARGED RESTROOM & OFFICE PLAN	
A8.2 INTERIOR ELEVATIONS KITCHEN	
A8.3 INTERIOR ELEVATIONS KITCHEN	
ACCESSIBILITY	
ADA1.0 ACCESSIBILITY REQUIREMENTS	
ADA1.1 ACCESSIBILITY REQUIREMENTS	
MECHANICAL	
M1.0 MECHANICAL SCHEDULES AND DETAILS	
M2.0 HVAC FLOOR PLAN	
M3.0 HOOD DRAWINGS AND SECTIONS	
M4.0 MECHANICAL AND HOOD DETAILS	
M5.0 INSTALLATION START-UP PRE-COMM CHECKLIST	
PLUMBING	
P1.0 PLUMBING SCHEDULES AND DETAILS	
P2.0 PLUMBING WASTE & VENT FLOOR PLAN	
P3.0 PLUMBING WATER & GAS FLOOR PLAN	
P5.0 RISER DIAGRAMS	
P6.0 PLUMBING DETAILS	
ELECTRICAL	
E1.0 SITE ELECTRICAL PLAN	
E2.0 RISER DIAGRAM AND LEGEND	
E2.1 PANEL SCHEDULES AND LOAD SUMMARY	
E2.2 ELECTRICAL SCHEDULES	
E3.0 POWER FLOOR PLAN	
E3.1 ENLARGED POWER PLAN AND DETAILS	
E3.2 POWER ROOF PLAN	
E4.0 LIGHTING PLAN AND SCHEDULE	
E5.0 COMMUNICATIONS PLAN	
E6.0 ELECTRICAL DETAILS	
E6.1 ELECTRICAL DETAILS	
E7.0 ELECTRICAL DETAILS	
SHEET INDEX	

MCA
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812 SW WASHINGTON ST, # 800
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PHONE 503-226-0622
WWW.MCA-ARCHITECTS.COM



10709 NE Coxley Drive
Vancouver, WA 98662
PHONE 360-695-9234
WWW.DABENTLEY.NET

PROJECT #20-109

BID & PERMIT 11/04/20

REVISION A

CONTRACT DATE:

BUILDING TYPE: CUST.ENDEAVOR MED40

PLAN VERSION:

BRAND DESIGNER: DAVE YOCUM

SITE NUMBER:

STORE NUMBER: #18095

TACO BELL

845 SW 1st AVENUE
CANBY, OR 97013



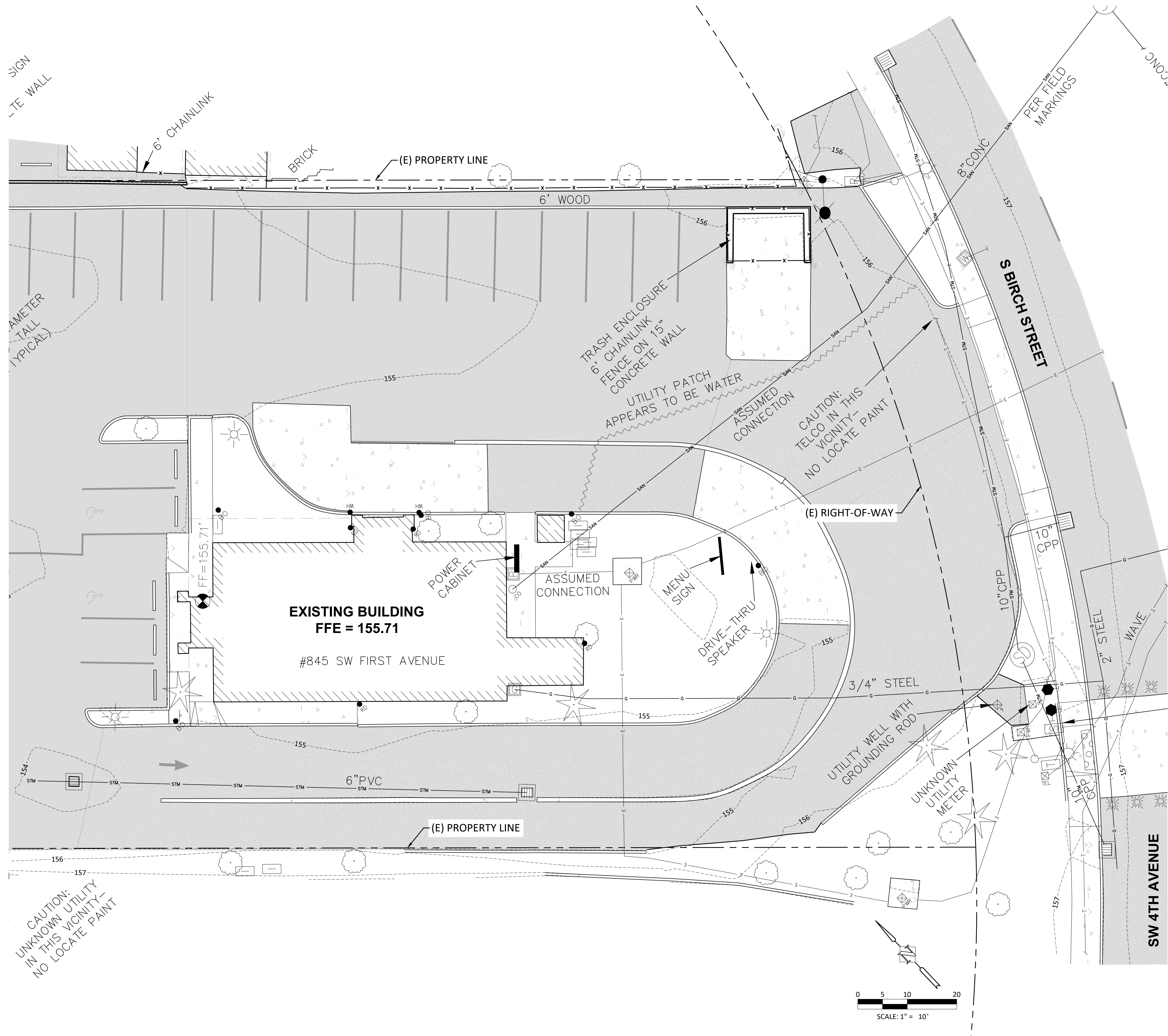
CUSTOM ENDEAVOR
MEDIUM40

TITLE SHEET

T1.0

2020-11-03

17 of 45



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PORTLAND OREGON 97205
PHONE 503-226-0622
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LANDSCAPE ARCHITECTS • SURVEYORS
205 SE Spokane Street, Suite 200, Portland, OR 97202
phone: 503.221.1131 www.hhpr.com fax: 503.221.1171



PROJECT #20-109

BID & PERMIT	11/04/20
REVISION A	

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TACO BELL
845 SW 1st AVENUE
CANBY, OR 97013



EXISTING
CONDITIONS
PLAN

C1.0



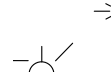
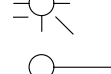

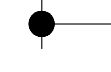



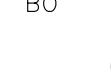

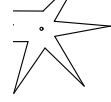


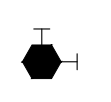
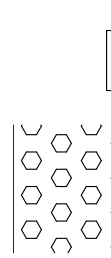
1" SCALE:

- STORM SEWER LINE
- SANITARY SEWER LINE
- WATER LINE
- GAS LINE
- OVERHEAD WIRE
- FENCE LINE, TYPE AS NOTED
- TELEPHONE LINE
- ELECTRIC LINE
- BUILDING LINE
- LINEAR AC PATCH (UTILITY?)

UTILITY LINE IS BELIEVED TO CONTINUE,
CONNECTION NOT LOCATED OR UNKNOWN

MAJOR CONTOUR – 5' INTERVALS

MINOR CONTOUR – 1' INTERVALS

-  UNKNOWN UTILITY BOX
-  UNKNOWN JUNCTION BOX
-  GROUND LIGHT
-  LIGHT POLE
-  STREET LIGHT
-  UTILITY POLE
W/ UNDERGROUND UTILITIES
AND STREET LIGHT
-  SINGLE POST SIGN
-  FLAG POLE
-  GATE POST
-  BOLLARD
-  HANDI-CAP PARKING SPACE
-  CONIFEROUS TREE
(APPROXIMATE DIAMETER BREAST HIGH
AS NOTED)
-  DECIDUOUS TREE
(APPROXIMATE DIAMETER
BREAST HIGH AS NOTED)
-  POLE WITH PEDESTRIAN
PUSH BUTTON
-  TRAFFIC SIGNAL BOX
-  EXISTING TACTILE STRIP

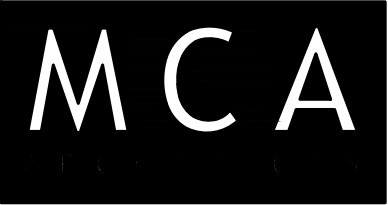
PRESENTATION PURPOSES AND DO NOT NECESSARILY
THE ACTUAL PHYSICAL IMPROVEMENTS THAT THEY
AMONGST ITEMS SHOWN BY THE SAME SYMBOL.

SANITARY SEWER NOTES

- (1267) SANITARY MANHOLE
RIM= 51.21'
IE 8"CONC(W)=150.82'
IE 8"CONC(S)=150.82'
IE 8"CONC(N)=150.77'
BOTTOM=150.77'
- (1869) 4" SANITARY CLEANOUT
RIM=155.70'
IE=APPROX 153.45'

STORM SEWER NOTES

- (1044) CATCH BASIN
RIM=156.36'
IE 10"CPP(NE)=154.76'
SUMP=154.36'
- (1089) CATCH BASIN
RIM=156.22'
IE 10"CPP(NW)=154.02'
SUMP=153.52'(SILTED)
- (1117) CATCH BASIN
RIM=156.33'
IE 10"CPP(SW)=154.13'
SUMP=152.38'
- (1215) STORM DRYWELL
RIM=156.65'
IE 10"CPP(SW)=151.55'
IE 10"CPP (NE)=151.35'
BOTTOM=COULD NOT MEASURE
(DEEPER THAN 25')
- (1358) CATCH BASIN
RIM=154.46'
IE 6"PVC(NW)=152.96'
BOTTOM=152.76'(SILTED)
- (1721) DITCH INLET
RIM=153.40'
IE 10"CONC(SW)=151.14'
BOTTOM=151.22'
- (1930) CATCH BASIN
RIM=156.27'
IE 6"PVC(SE)=151.87
IE 10"CONC(NE)=150.37'
IE 12"CONC(NW)=150.37'
BOTTOM=150.37'
- (2025) CATCH BASIN
RIM=153.84'
IE 6"PVC(SE)=152.44'(SILTED)
IE 6"PVC(NW)=152.39'
BOTTOM=152.39'
STORM MANHOLE
RIM=154.89'
IE 12"CONC(SE)=145.64'
IE 24"CONC(NE)=145.29'
IE 24"CONC(SW)=145.29'
BOTTOM=145.29'



812 SW WASHINGTON ST, # 800
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PROJECT #20-109

BID & PERMIT 11/04/20

REVISION A

CONTRACT DATE:
BUILDING TYPE: CUST.ENDEAVOR MED40
PLAN VERSION:
BRAND DESIGNER: DAVE YOCUM
SITE NUMBER:
STORE NUMBER: #18095

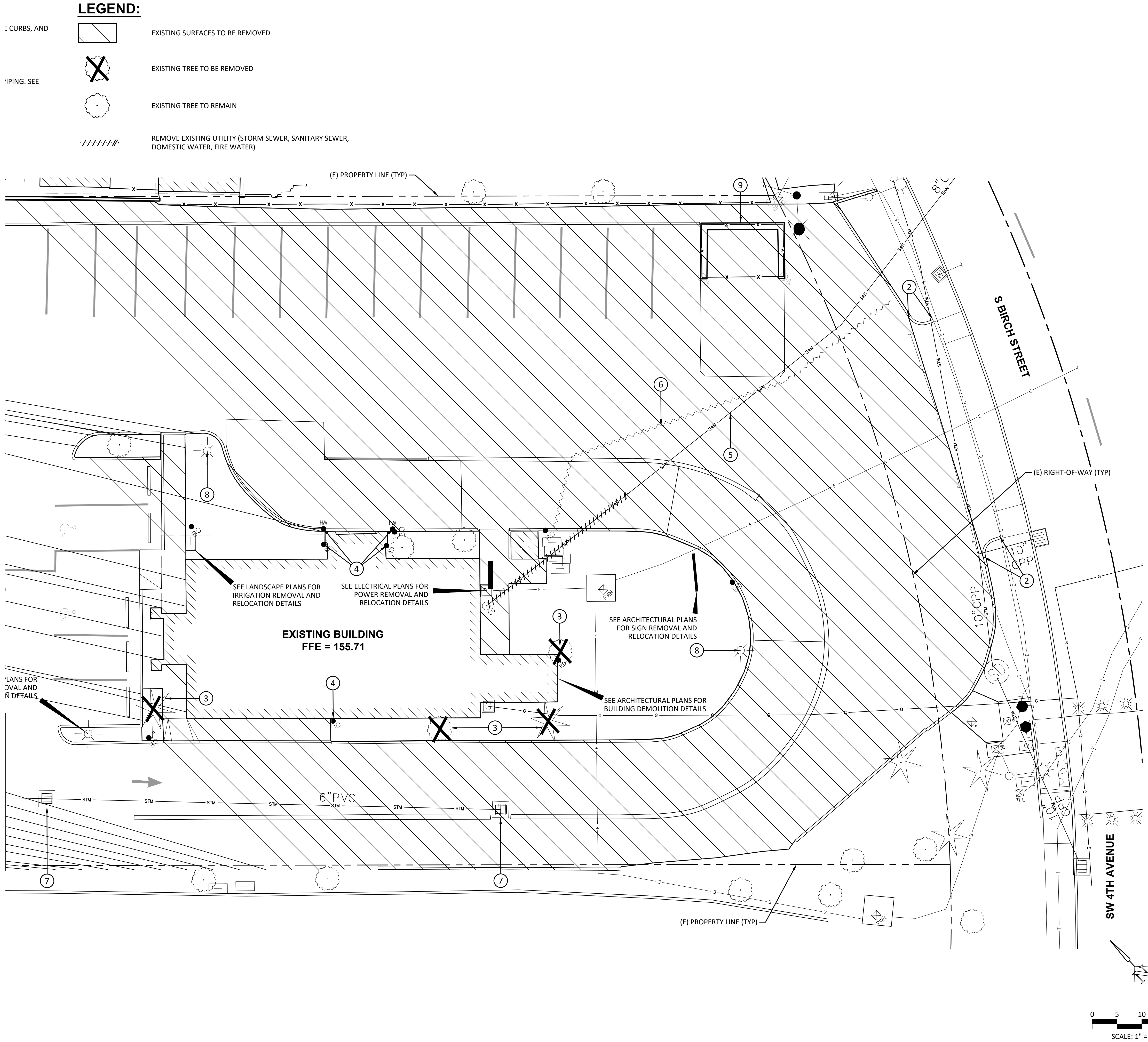
TACO BELL
845 SW 1st AVENUE
CANBY, OR 97013



CUSTOM ENDEAVOR
MEDIUM40

EXISTING
CONDITIONS
LEGEND

C1.1



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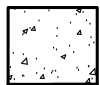
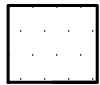
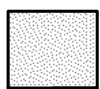
SITE
DEMOLITION
PLAN

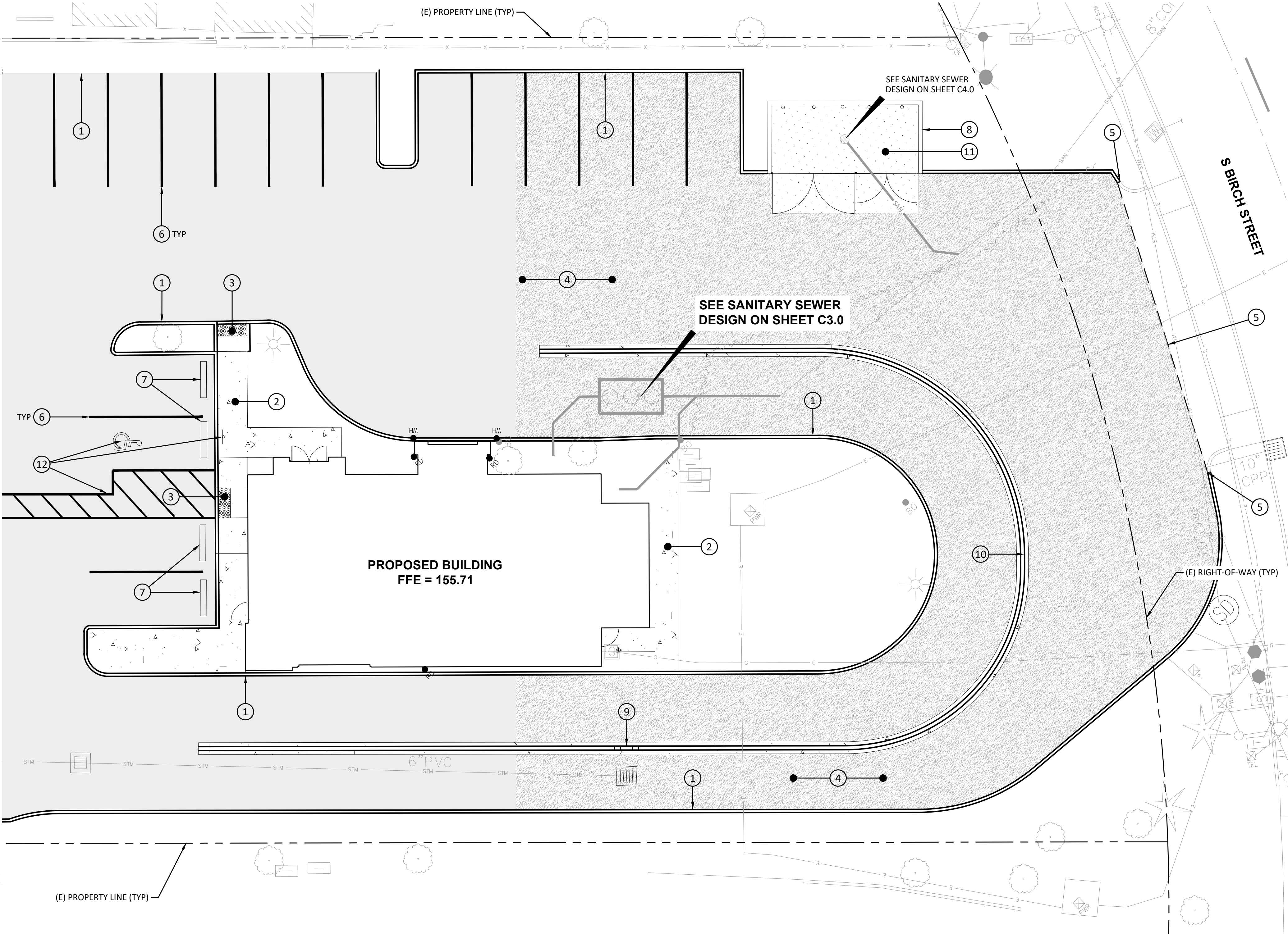
C1.3

NG ON SHEET C2.1.
GRADING ON SHEET C2.1.
:T C2.1. SEE ARCHITECTURAL PLANS FOR DETAILS.
BE PROVIDED BY OTHERS.
ALK/ASPHALT, AS REQUIRED AND DIRECTED. PROTECT
.
LL DIMENSIONING ON SHEET C2.1.
ABLE TO PROTECT, INSTALL CONCRETE WHEEL STOP PER
DETAILS.
CURB WITH 45 DEGREE BEVEL TO CURB FLUSH WITH

IG ON SHEET C2.1.
EE STRUCTURAL PLANS FOR DETAILS.
:SS AISLE. SEE ARCHITECTURAL PLANS FOR DETAILS.
STANDARD DRAWING RD735 ON SHEET C4.1.
DRAWING RD302 ON SHEET C4.1, OR MATCH EXISTING,

LEGEND:

-  CONCRETE SIDEWALK
-  TRASH ENCLOSURE CONCRETE PAVEMENT
-  POROUS ASPHALT PAVEMENT



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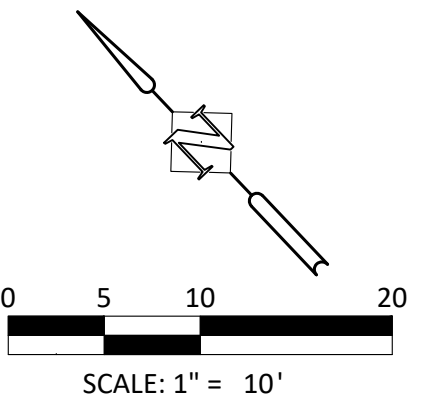


CIVIL SITE
PLAN

C2.0

२

- २

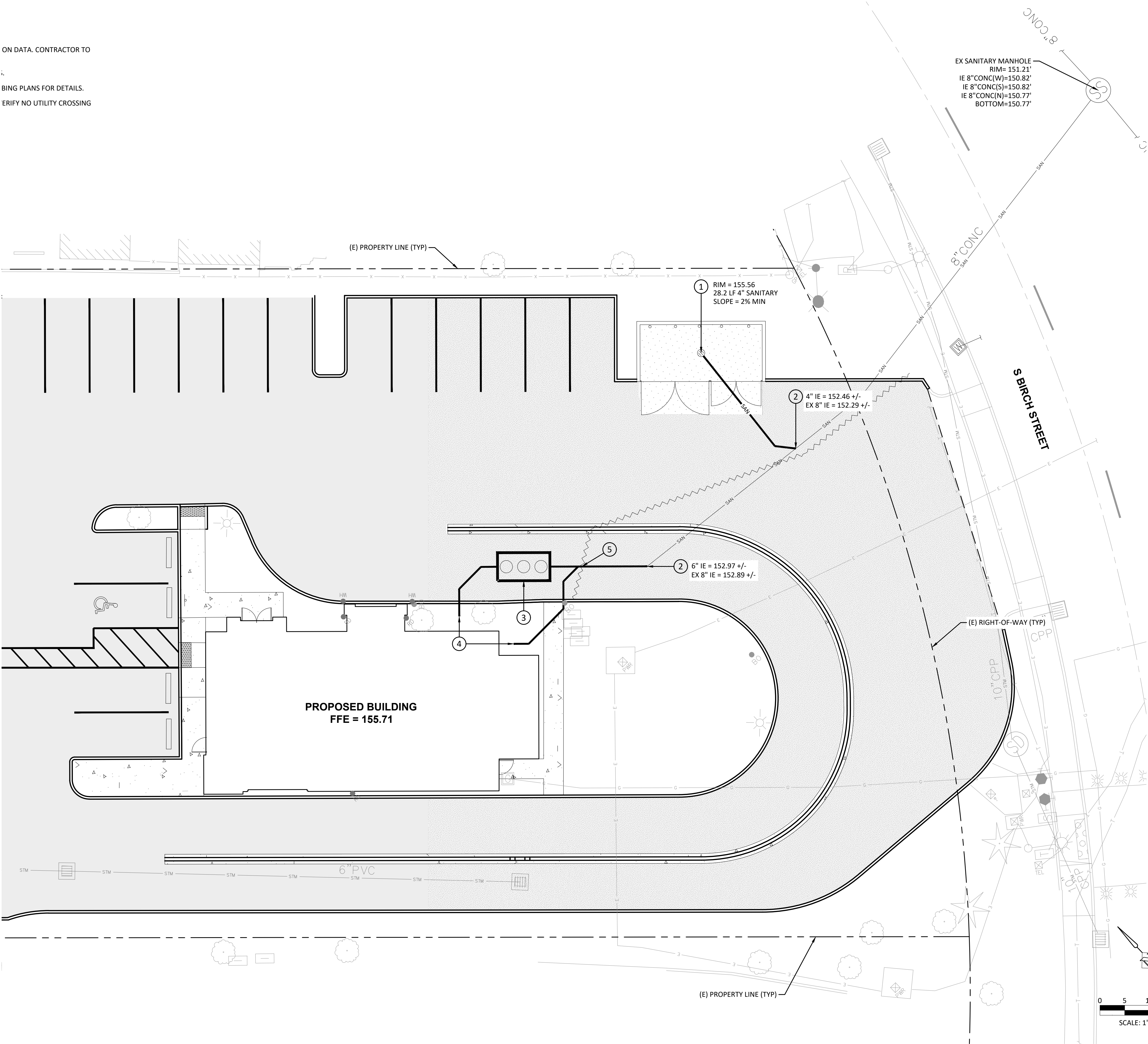


ON DATA. CONTRACTOR TO

i.

BING PLANS FOR DETAILS.

ERIFY NO UTILITY CROSSING



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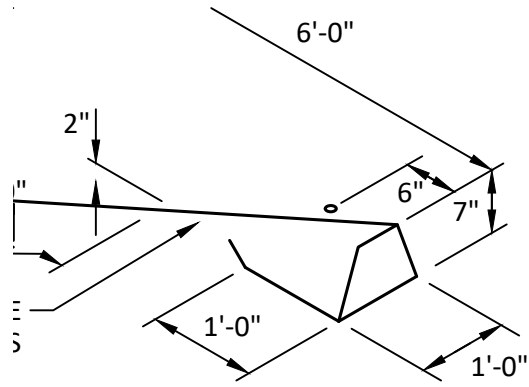


UTILITY PLAN

C3.0

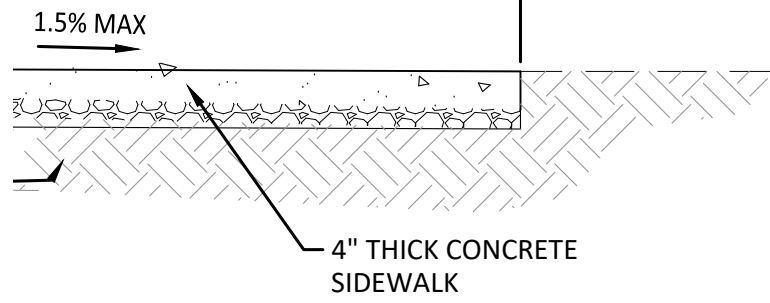
2020-11-03

INSTALL #4 REBAR WITH 12" MIN.
EMBEDMENT THROUGH PRECAST SLEEVE.
RECESS REPAIR 1/4" AND COVER HOLE WITH
EPOXY SEALANT: SIKA
LASTOMER-46 THUMB PUTTY. TYPICAL BOTH
ENDS OF WHEEL STOP AS SHOWN.

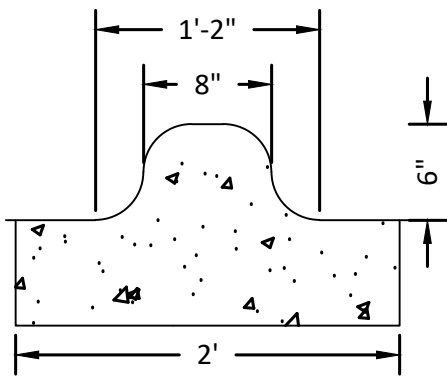


CONCRETE WHEEL STOP
NTS

RIES (SEE PLAN)



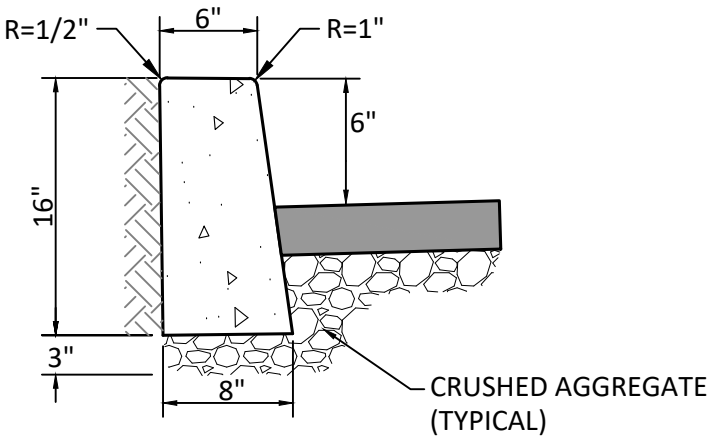
CONCRETE SIDEWALK
NTS



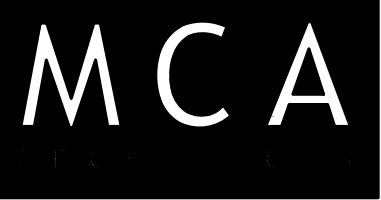
ROLLED CURB DETAIL
NTS

NOTES:

1. CURB SHOWN MAY BE USED WITH EITHER A.C. OR P.C.C. PAVEMENTS.
2. CONTRACTION JOINT TO BE INSTALLED EVERY 10 FT.
3. BASE ROCK UNDER THE CURB AND ALSO PLACED 12" BEYOND THE BACK OF THE CURB SHALL BE COMPACTED TO 95% COMPACTION ASTM D1557.



TYPE "C" CURB
NTS



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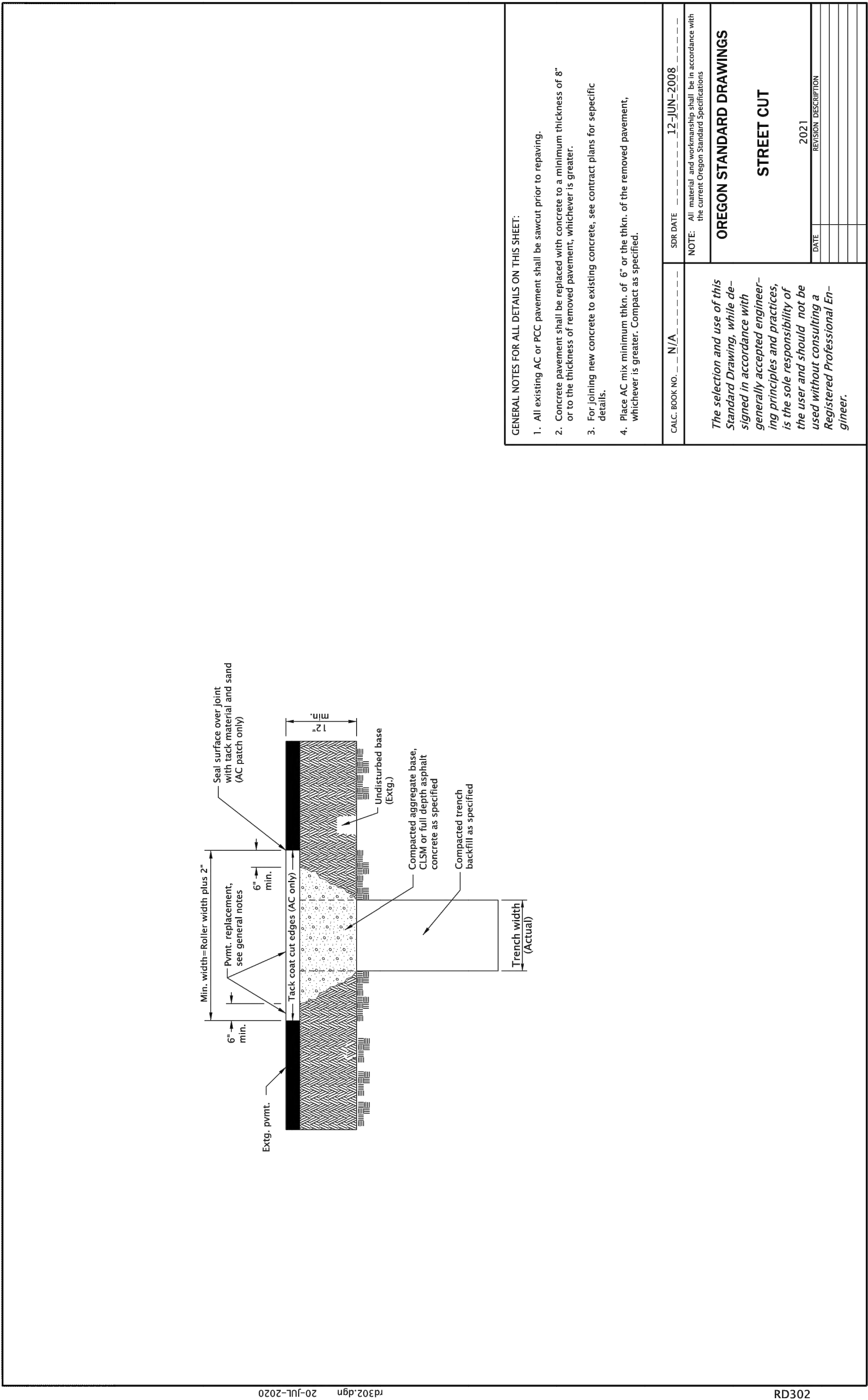
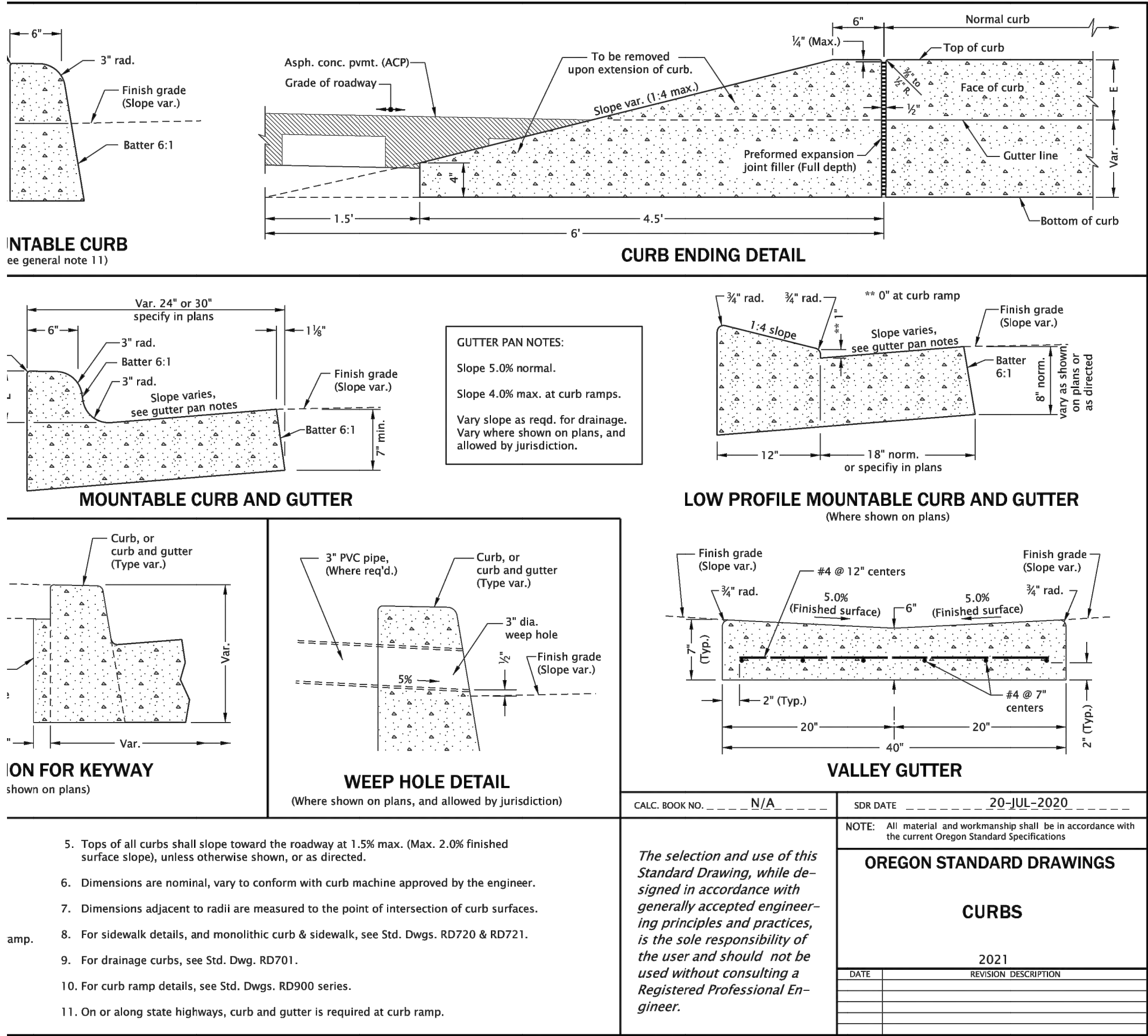
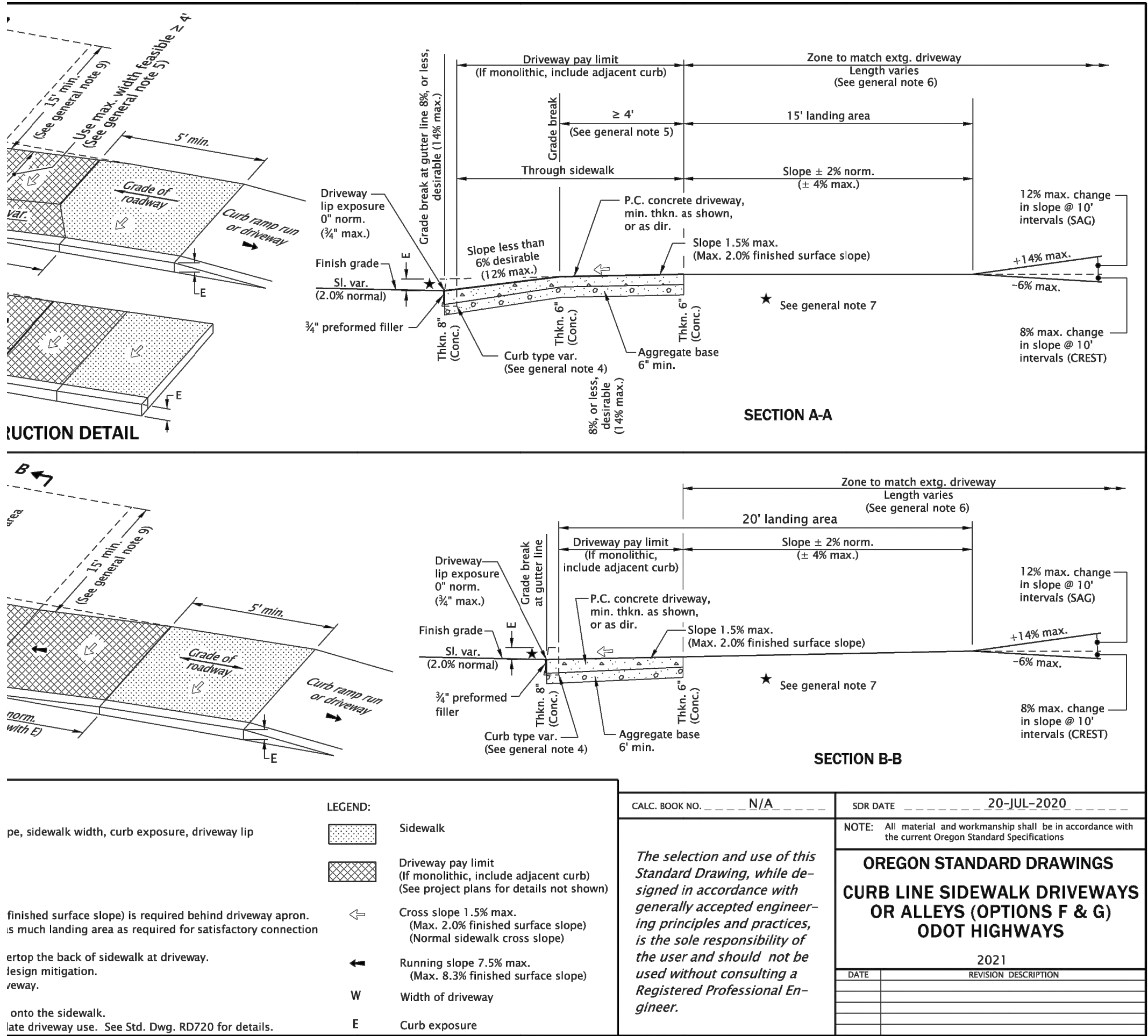


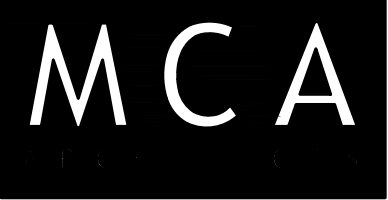
CUSTOM ENDEAVOR
MEDIUM40

CIVIL
DETAILS

C4.0

2020-11-03

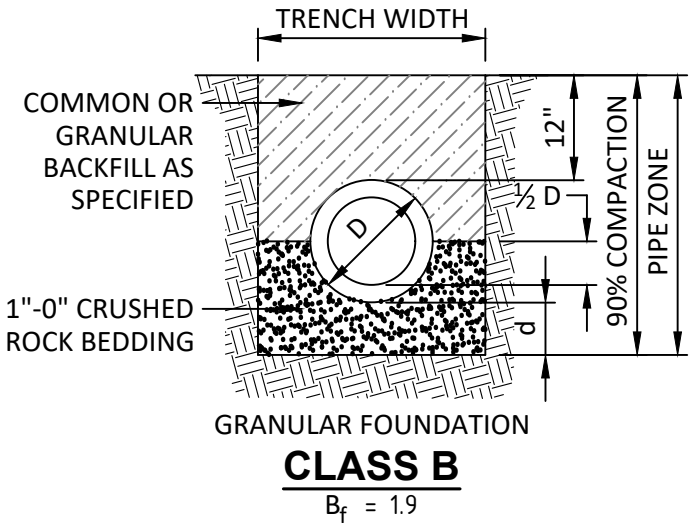




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LEGEND:
D = OUTSIDE DIAMETER
d = DEPTH OF BEDDING MATERIAL BELOW PIPE

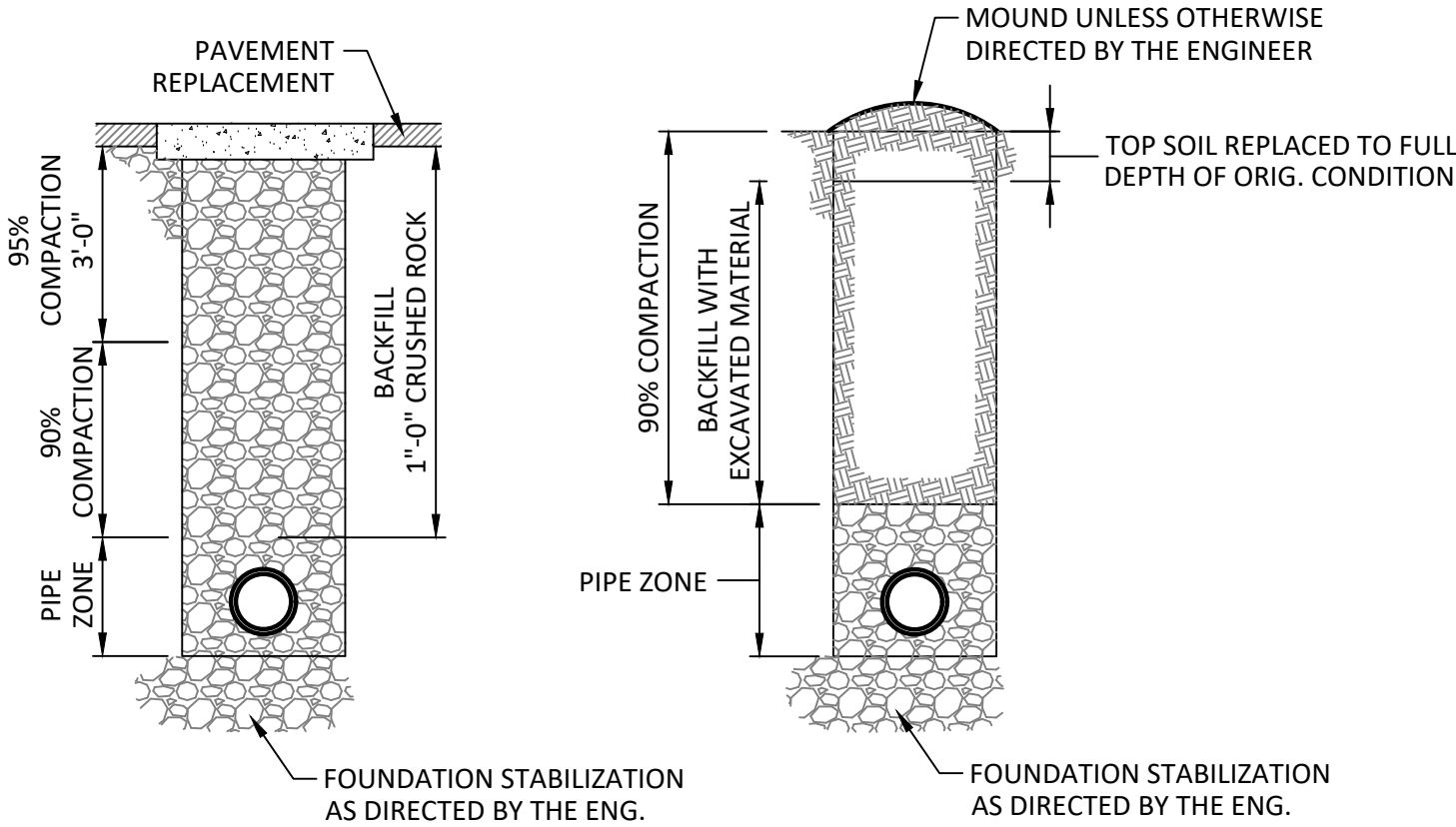
DEPTH OF BEDDING MATERIAL BELOW PIPE	
D	d (MIN)
12" & SMALLER	6"
15" to 36"	8"
42" & LARGER	10"

- NOTES:**
- WHERE DIRECTED BY THE ENGINEER GRANULAR TRENCH STABILIZATION SHALL BE PLACED PRIOR TO PLACEMENT OF THE BEDDING. SIZE AND DEPTH ARE DEPENDENT ON SOIL CONDITIONS.
 - FOR ROCK OR OTHER INCOMPRESSIBLE MATERIALS, THE TRENCH SHALL BE OVEREXCAVATED A MINIMUM OF 6" AND REFILLED WITH GRANULAR MATERIAL AS DIRECTED BY THE ENGINEER.
 - BEDDING AND BACKFILL MATERIALS IN THE PIPE ZONE SHALL BE COMPACTED AS SPECIFIED PRIOR TO BACKFILLING THE REMAINDER OF THE TRENCH.
 - WHERE DIRECTED BY THE ENGINEER USE 1'-0 CRUSHED ROCK FOR ENTIRE PIPE ZONE. (SEE SCS 204.3.18)

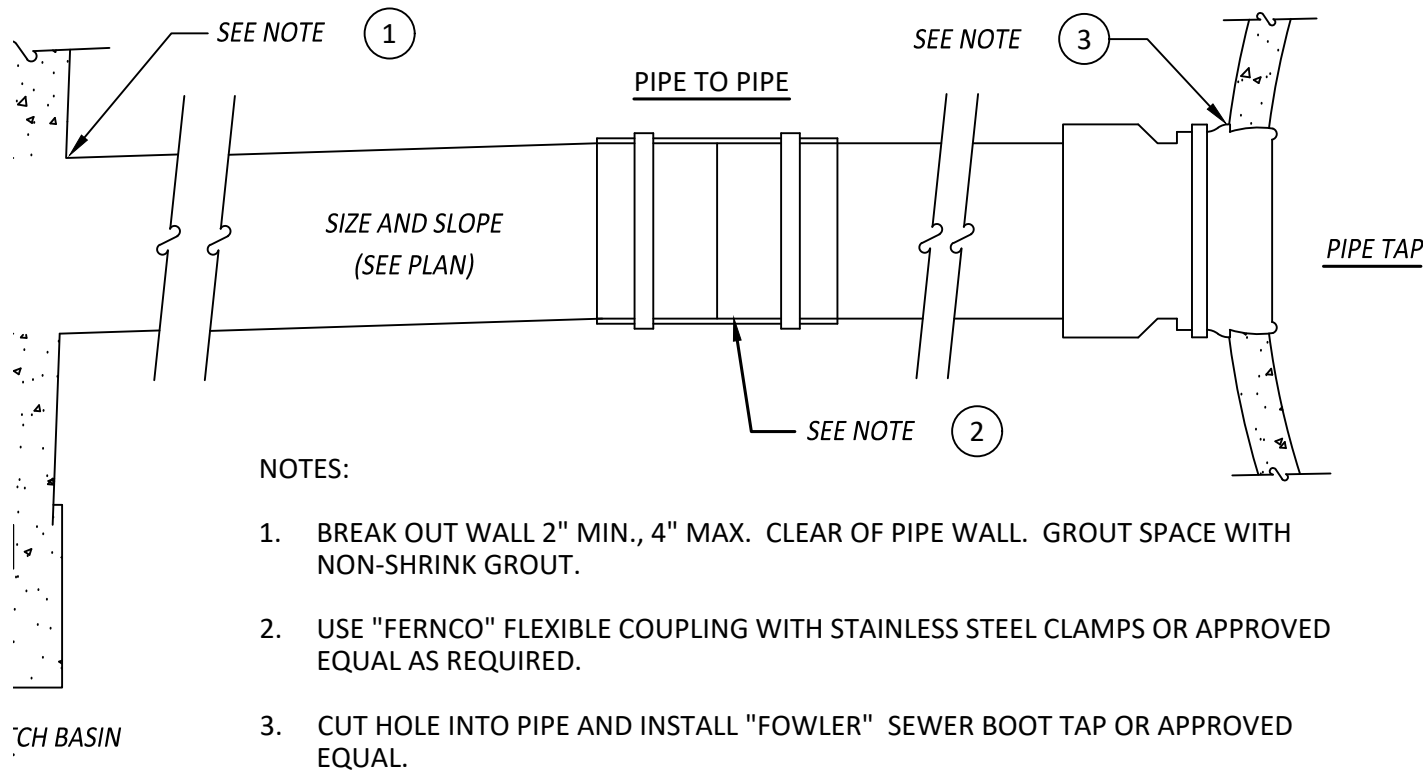
PIPE ZONE
NTS

TRENCH PAY WIDTH

SIZE OF PIPE	PAY WIDTH OF TRENCH
6" THRU 8"	2.5 FT.
10" THRU 24"	OUTSIDE DIAMETER PLUS 18"
27" THRU 36"	OUTSIDE DIAMETER PLUS 24"
42" AND LARGER	OUTSIDE DIAMETER PLUS 30"



PIPE TRENCH
NTS



- NOTES:**
- BREAK OUT WALL 2" MIN., 4" MAX. CLEAR OF PIPE WALL. GROUT SPACE WITH NON-SHRINK GROUT.
 - USE "FERNCO" FLEXIBLE COUPLING WITH STAINLESS STEEL CLAMPS OR APPROVED EQUAL AS REQUIRED.
 - CUT HOLE INTO PIPE AND INSTALL "FOWLER" SEWER BOOT TAP OR APPROVED EQUAL.

PIPE CONNECTION TO EXISTING
NTS

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CANBY, OR 97013



CUSTOM ENDEAVOR
MEDIUM40

**CIVIL
DETAILS**

C4.2

2020-11-03

LEGEND:

CTOR TO DETERMINE INLET

EC2.0.

SHEET EC2.0.

EC2.0.

-----155-----

EXISTING MAJOR CONTOUR

-----156-----

EXISTING MINOR CONTOUR

—155—

PROPOSED MAJOR CONTOUR

—156—

PROPOSED MINOR CONTOUR

• ○○○○○○○○○○○○ •

WATTLES

A horizontal number line with two open circles at -1 and 2. A line segment connects the two circles, representing the inequality $-1 < x < 2$.

TREE PROTECTION FENCE


A horizontal number line with two points marked by small squares. The first square is on the left, and the second square is to its right. There are no numerical labels or tick marks on the line.

CONSTRUCTION FENCE

— 322 —

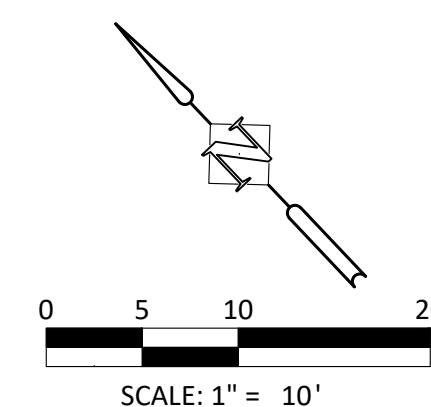
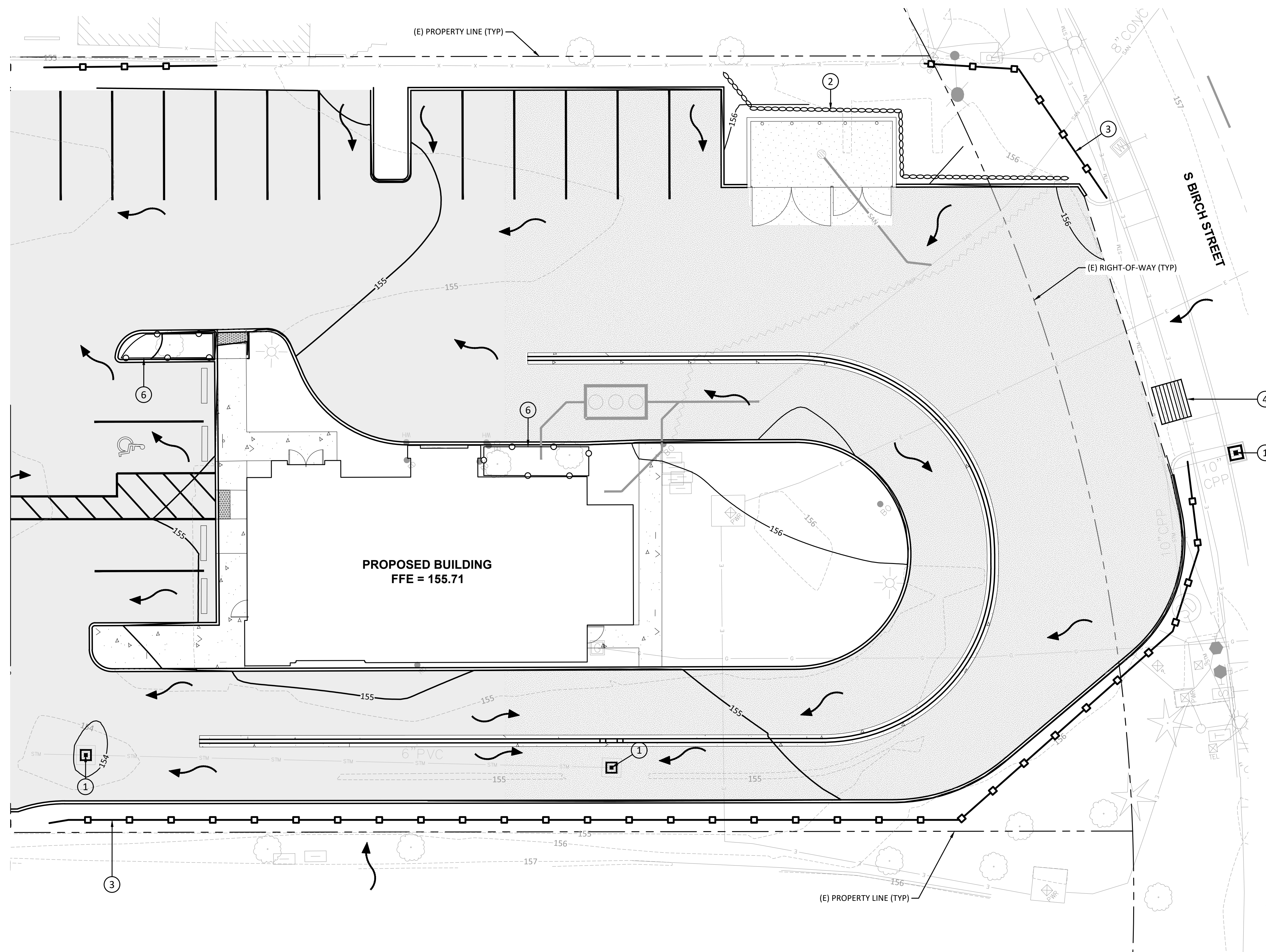
INLET PROTECTION

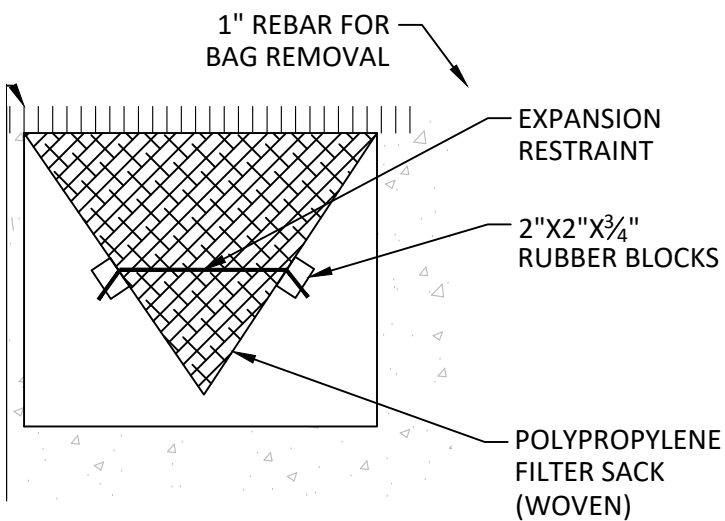
DRAINAGE FLOW DIRECTION



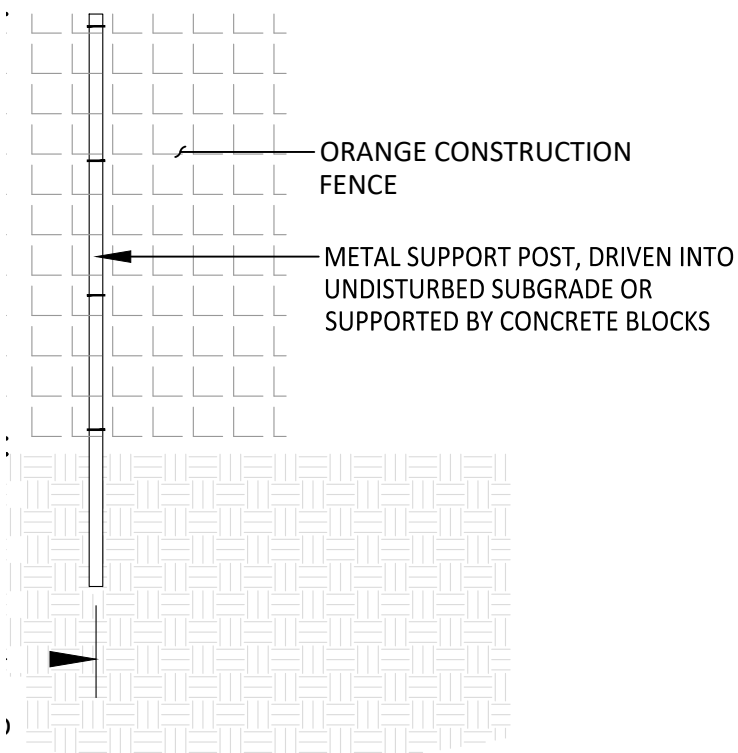
CONCRETE TRUCK WASH OUT

RUMBLE STRIP CONSTRUCTION ENTRANCE

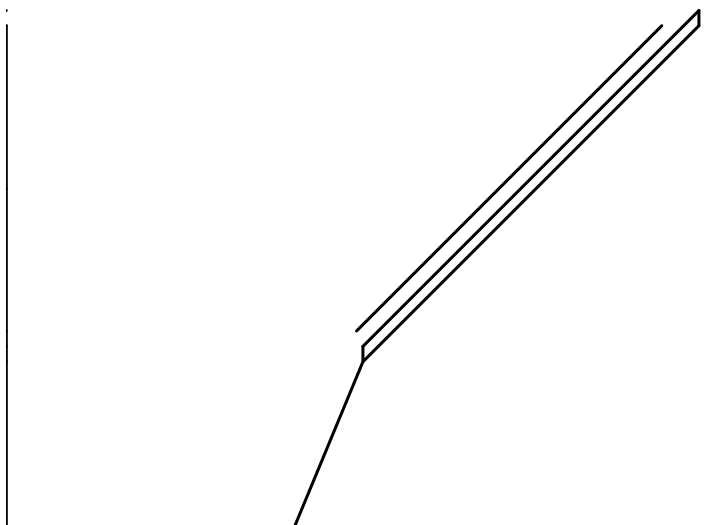




ON - SILT SACK



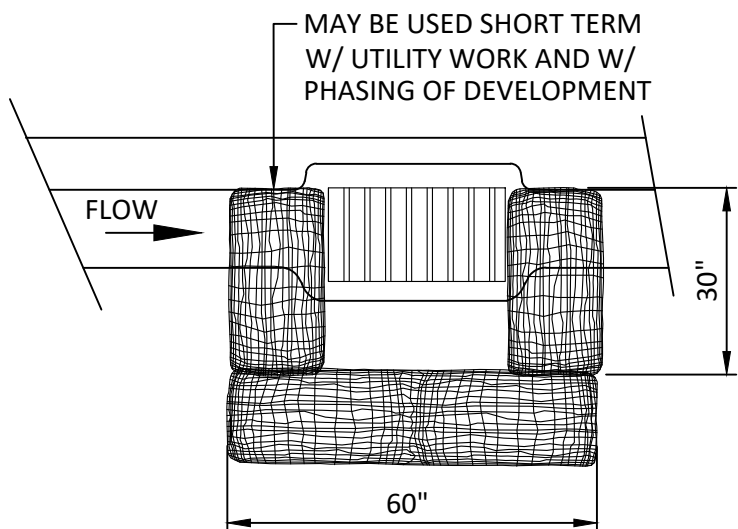
DUCTION FENCE



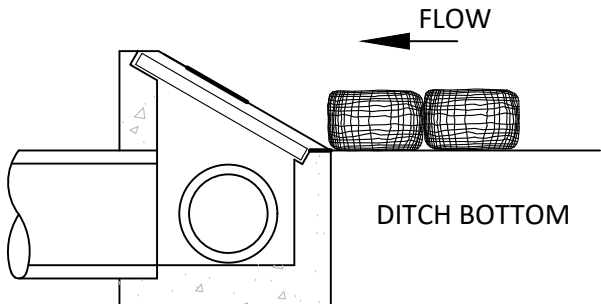
R AND SOLIDS IN A LEAK PROOF BASIN.

PASSED THROUGH A FILTER AND TREATMENT SYSTEM TO USED FOR CONCRETE WASHOUT WATER. DISPOSAL OF CILITY. DO NOT DRAIN TO STORM OR SANITARY SYSTEM. S THAT ARE SEPARATED FROM WASHWATER MAY BE ADY MIX PLANT PRIOR TO CONSTRUCTION. E WASHOUT TO HARDEN IN BASIN. THE HARDEN

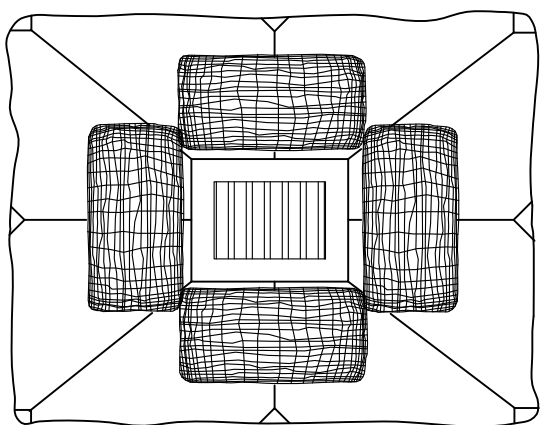
WASHOUT BASIN



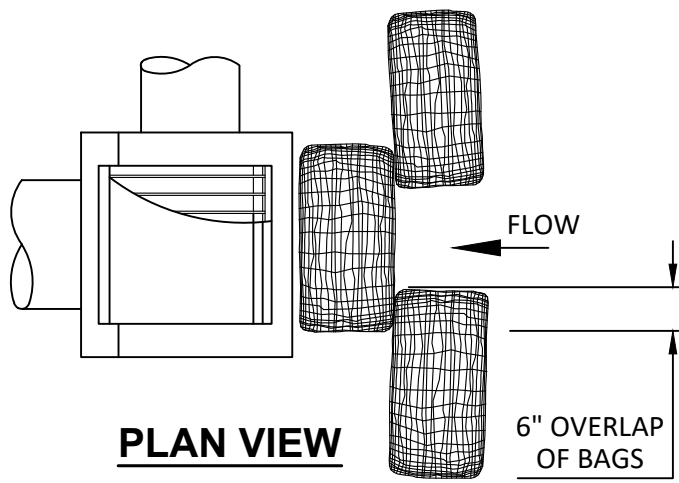
CATCH BASIN



DITCH INLET



AREA DRAIN



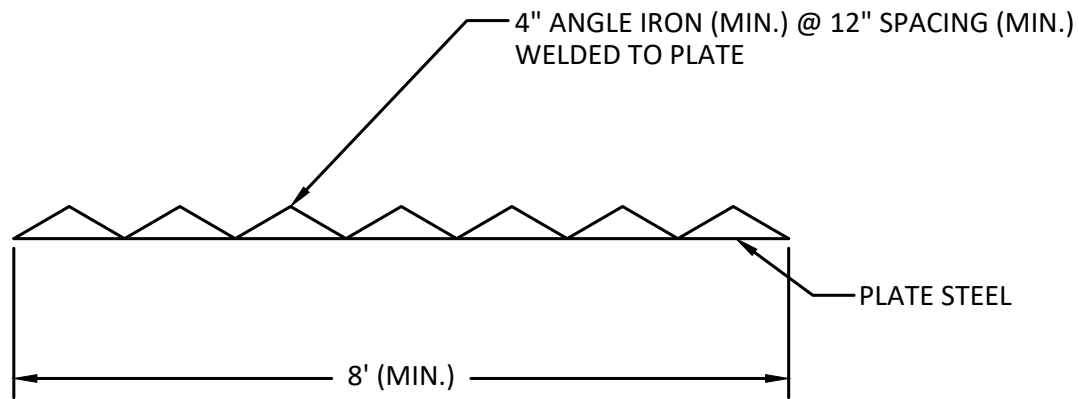
PLAN VIEW

NOTES:

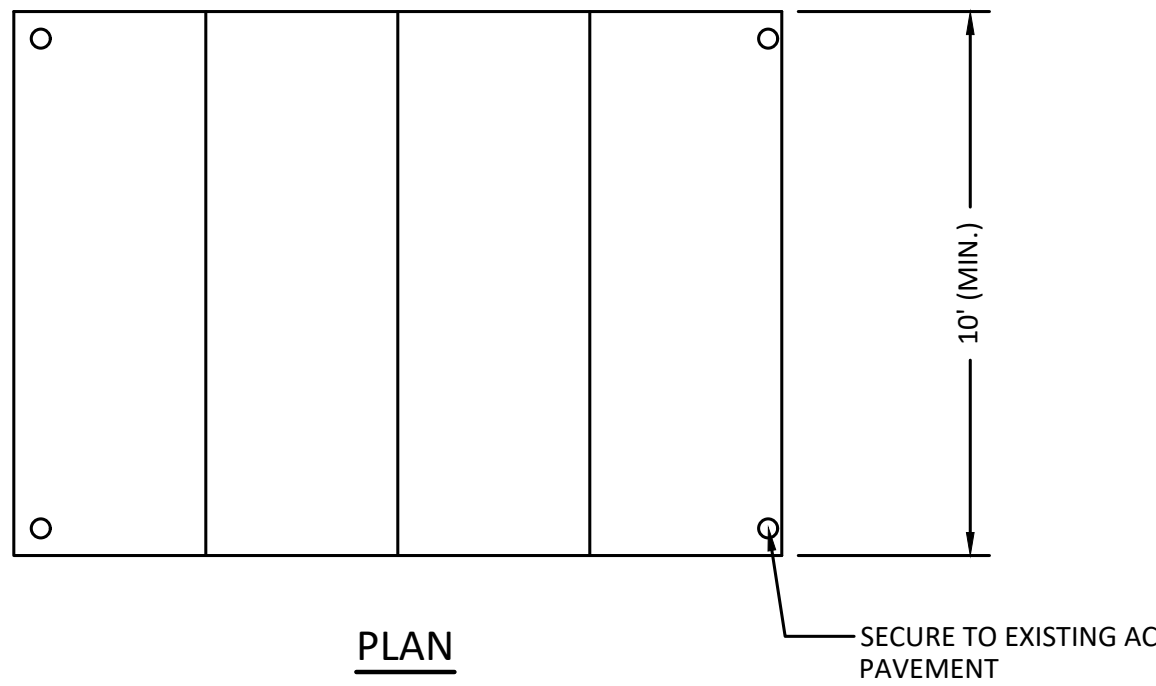
1. ADDITIONAL MEASURES MUST BE CONSIDERED DEPENDING ON SOIL TYPES.
2. BIO-FILTER BAGS SHOULD BE STAKED WHERE APPLICABLE USING (2) 1"x2" WOODEN STAKES OR APPROVED EQUAL PER BAG.
3. WHEN USING 30" BIO-BAGS TO PROTECT A CATCH BASIN YOU MUST HAVE 4 BAGS AND THEY SHALL BE OVERLAPPED BY 6".

INLET PROTECTION - BIO-FILTER BAGS

N.T.S.



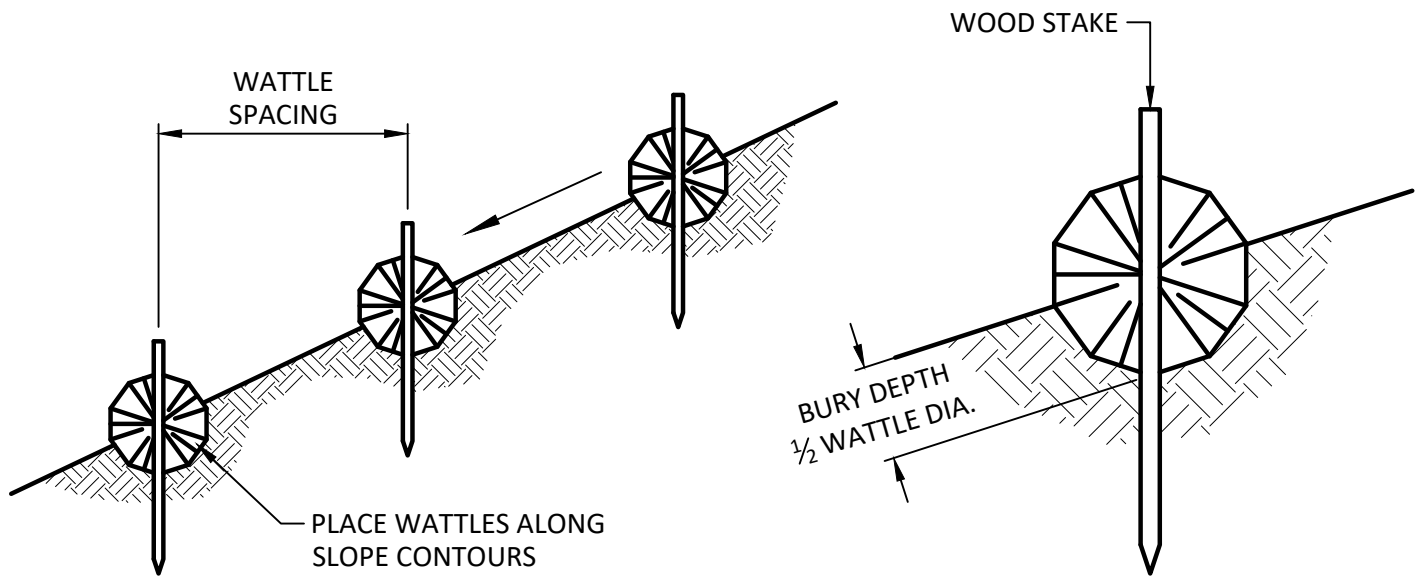
SECTION



PLAN

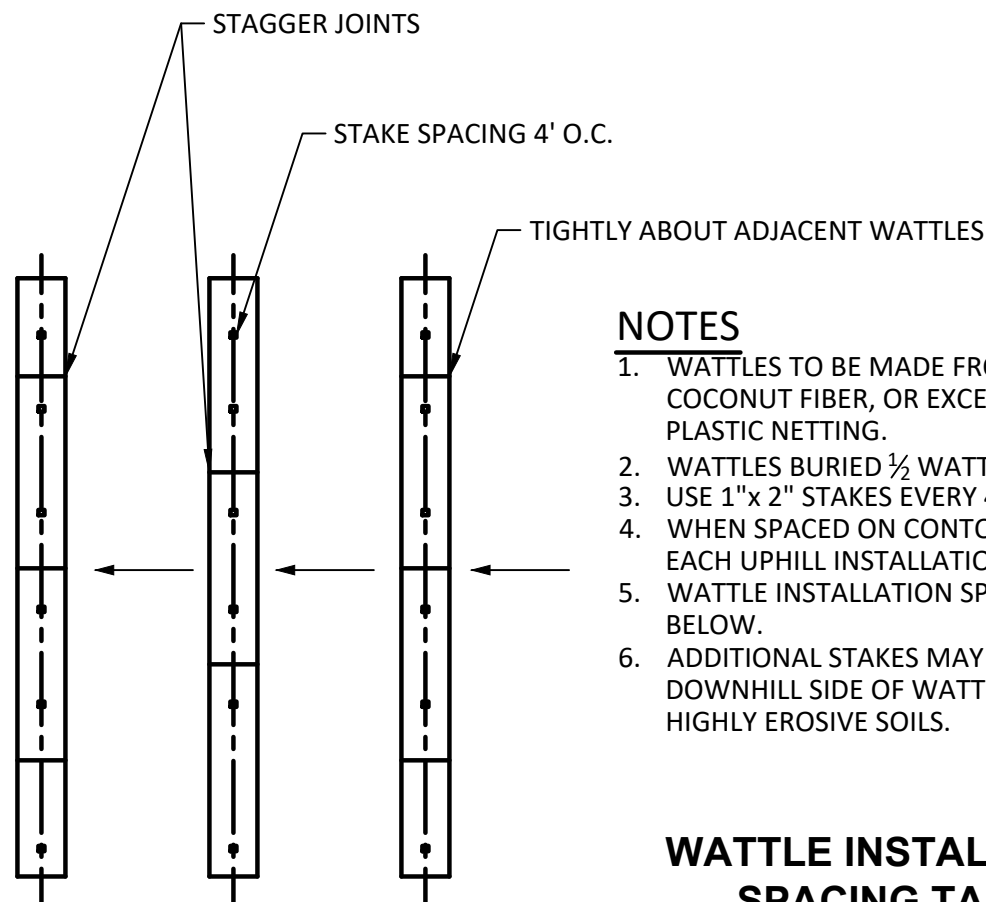
RUMBLE STRIP CONSTRUCTION ENTRANCE

N.T.S.



PROFILE

SECTION



PLAN VIEW

NOTES

1. WATTLES TO BE MADE FROM RICE STRAW, WOOD, COCONUT FIBER, OR EXCELSIOR PLACED WITHIN A PLASTIC NETTING.
2. WATTLES BURIED 1/2 WATTLE DIAMETER.
3. USE 1"x 2" STAKES EVERY 4' O.C.
4. WHEN SPACED ON CONTOUR, STAGGER JOINTS ON EACH UPHILL INSTALLATION.
5. WATTLE INSTALLATION SPACING PER TABLE BELOW.
6. ADDITIONAL STAKES MAY BE REQUIRED ON DOWNHILL SIDE OF WATTLES ON STEEP SLOPES OR HIGHLY EROSION SOILS.

WATTLE INSTALLATION SPACING TABLE

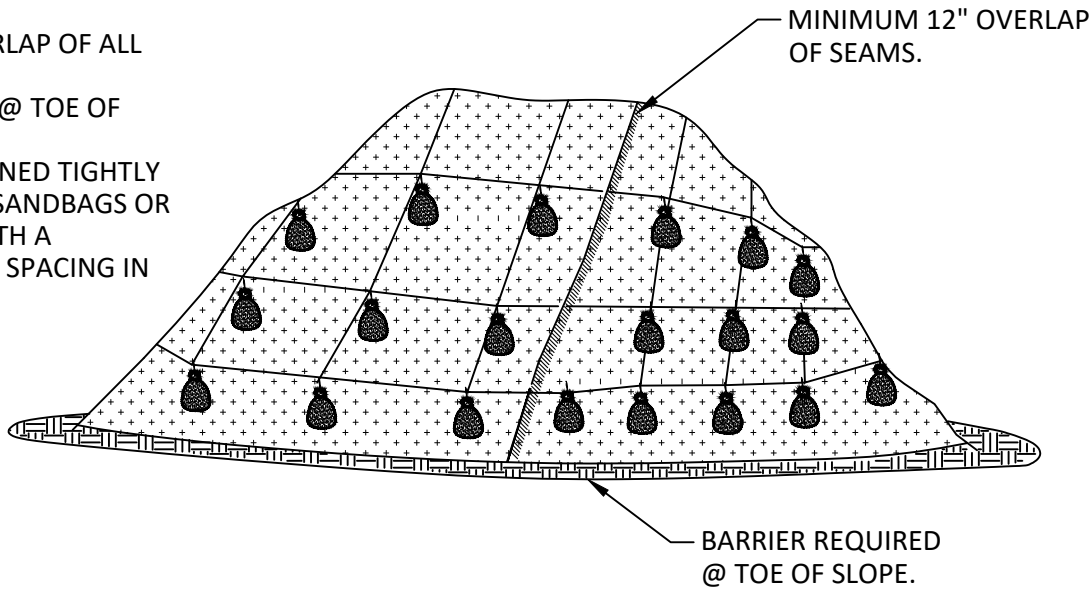
% SLOPE	SPACING SLOPE	(MAX)
<10%	<10:1	300'
10%>X<15%	10:1>X<7.5:1	150'
15%>X<20%	7.5:1>X<5:1	100'
20%>X<30%	5:1>X<3.5:1	50'
30%>X<50%	3.5:1>X<2:1	25'

WATTLE

N.T.S.

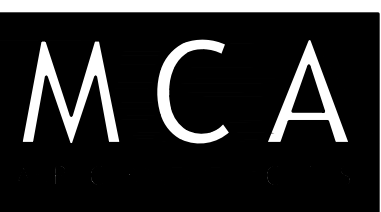
NOTES:

1. MINIMUM 12" OVERLAP OF ALL SEAMS REQUIRED.
2. BARRIER REQUIRED @ TOE OF STOCK PILE.
3. COVERING MAINTAINED TIGHTLY IN PLACE BY USING SANDBAGS OR TIRES ON ROPES WITH A MAXIMUM 10' GRID SPACING IN ALL DIRECTIONS.



PLASTIC SHEETING

N.T.S.



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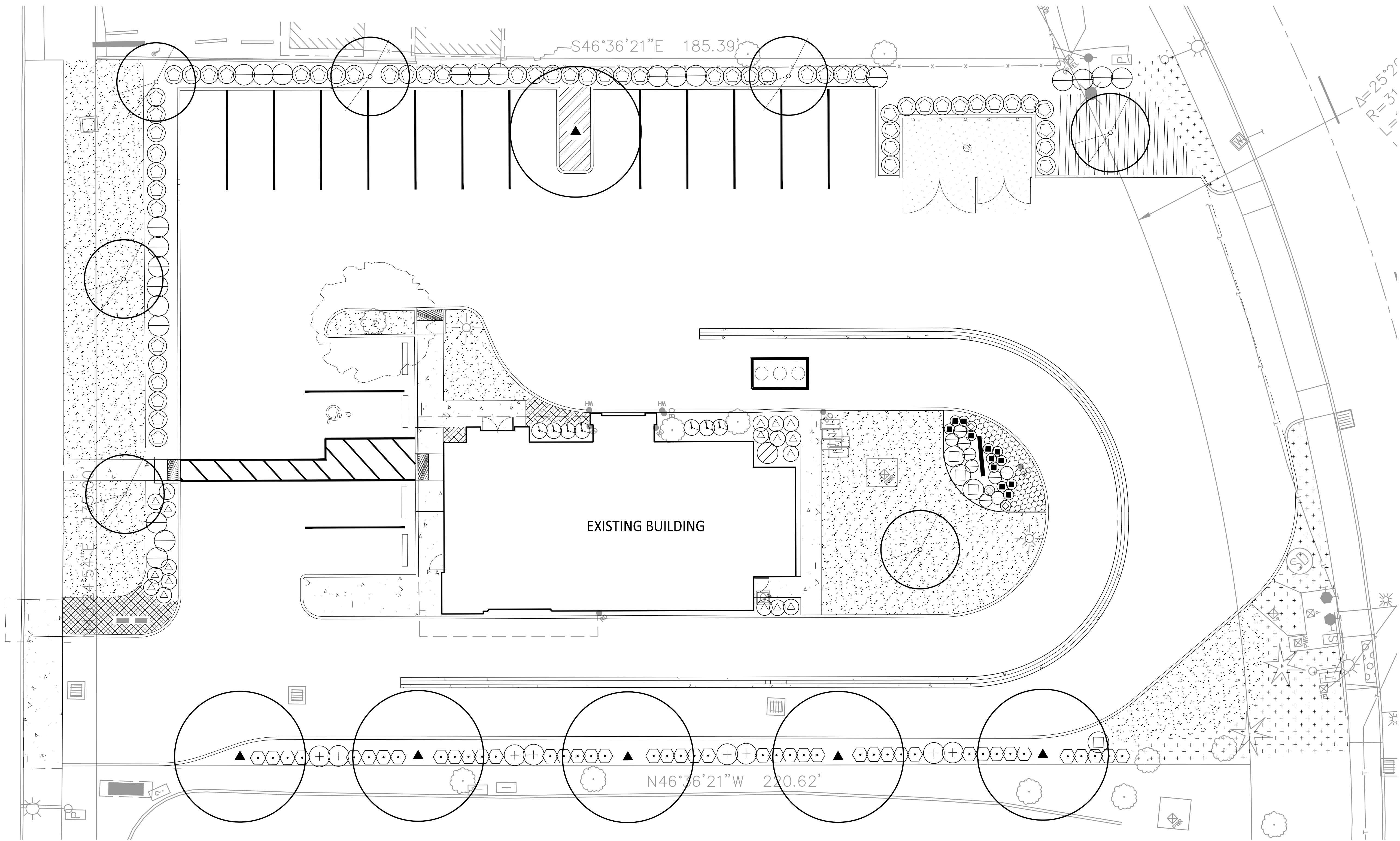


CUSTOM ENDEAVOR
MEDIUM40

EROSION
CONTROL
DETAILS

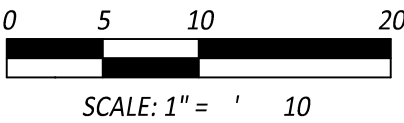
EC2.0

2020-11-03



GENERAL PLANTING NOTES

- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT CITY OF CANBY STANDARDS AND OREGON BUILDING AND SPECIALTY CODES.
- INSTALL EROSION CONTROL SYSTEMS IN ACCORDANCE WITH CITY OF CANBY STANDARDS PRIOR TO SITE WORK AND LANDSCAPE INSTALLATION.
- CONTRACTOR SHALL MARK AND PROTECT ALL UTILITIES, SITE FEATURES, AND VEGETATION TO REMAIN IN PLACE.
- CONTRACTOR SHALL REMOVE ALL WEEDS AND INVASIVE SPECIES PRIOR TO PLANTING OR SEEDING.
- PRIOR TO PLANTING, CONTRACTOR SHALL TEST ON-SITE SOILS FOR SOIL FERTILITY BY CERTIFIED TESTING LAB. IF NECESSARY, BACKFILL SOILS FOR TREE PITS, SHRUB AND GROUNDCOVER AREAS SHALL BE AMENDED AS RECOMMENDED BY SOIL ANALYSIS REPORT.
- ALL SEEDED AREAS SHALL BE STRIPPED OF VEGETATION, SCARIFIED AND RECEIVE 6" OF TOPSOIL PRIOR TO APPLICATION OF SEED.
- ALL PLANTER BEDS SHALL BE EXCAVATED TO NATIVE SOIL, SCARIFIED AND HAVE 12" OF TOPSOIL ADDED TO BRING BACK TO FINISHED GRADE PRIOR TO PLANTING. MINIMUM 12" OF TOPSOIL DEPTH REQUIRED
- CONTRACTOR TO INSTALL 3" LAYER OF COMPOST MULCH AT ALL TREE, SHRUB AND GROUNDCOVER AREAS.
- LANDSCAPE INSTALLATION SHALL INCLUDE PROVISION OF A CONTRACTOR DESIGN/ BUILD AUTOMATIC IRRIGATION SYSTEM TO SUSTAIN LANDSCAPE PLANTINGS, MEETING LOCAL AND STATE BUILDING CODES.
- PLANT MATERIAL INSTALLED SHALL CONFORM IN SIZE AND GRADE TO THE "AMERICAN STANDARD FOR NURSERY STOCK" CURRENT EDITION.
- QUANTITIES OF PLANT MATERIALS SHALL BE AS DETERMINED BY CONTRACTOR IN ACCORDANCE WITH SPECIFIED SPACING OR LOCATION ON PLAN. MATERIAL QUANTITIES SHOWN ON PLAN ARE FOR CONTRACTOR CONVENIENCE ONLY AND SHALL BE VERIFIED BY CONTRACTOR PRIOR TO INSTALLATION. SURPLUS OR SHORTAGES OF PLANT QUANTITIES SHALL BE RESPONSIBILITY OF CONTRACTOR.
- LANDSCAPE CONTRACTOR SHALL WATER PLANTINGS FOR DURATION OF 1-YEAR WARRANTY PERIOD AFTER INSTALLATION AND GUARANTEE ALL PLANTINGS TO BE IN SATISFACTORY HEALTH. LANDSCAPE CONTRACTOR SHALL REPLACE ALL DAMAGED, DEAD, OR DYING PLANTS COVERED BY WARRANTY WITHIN 30 DAYS OF INITIAL IDENTIFICATION OF CONDITION.



SEE L1.1 FOR DETAILS AND LEGEND

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REGISTERED
LANDSCAPE ARCHITECT

747
JEFFERY P. CREEL
OREGON
05/13/11

EXPIRES: 05/13/21

PROJECT #20-109

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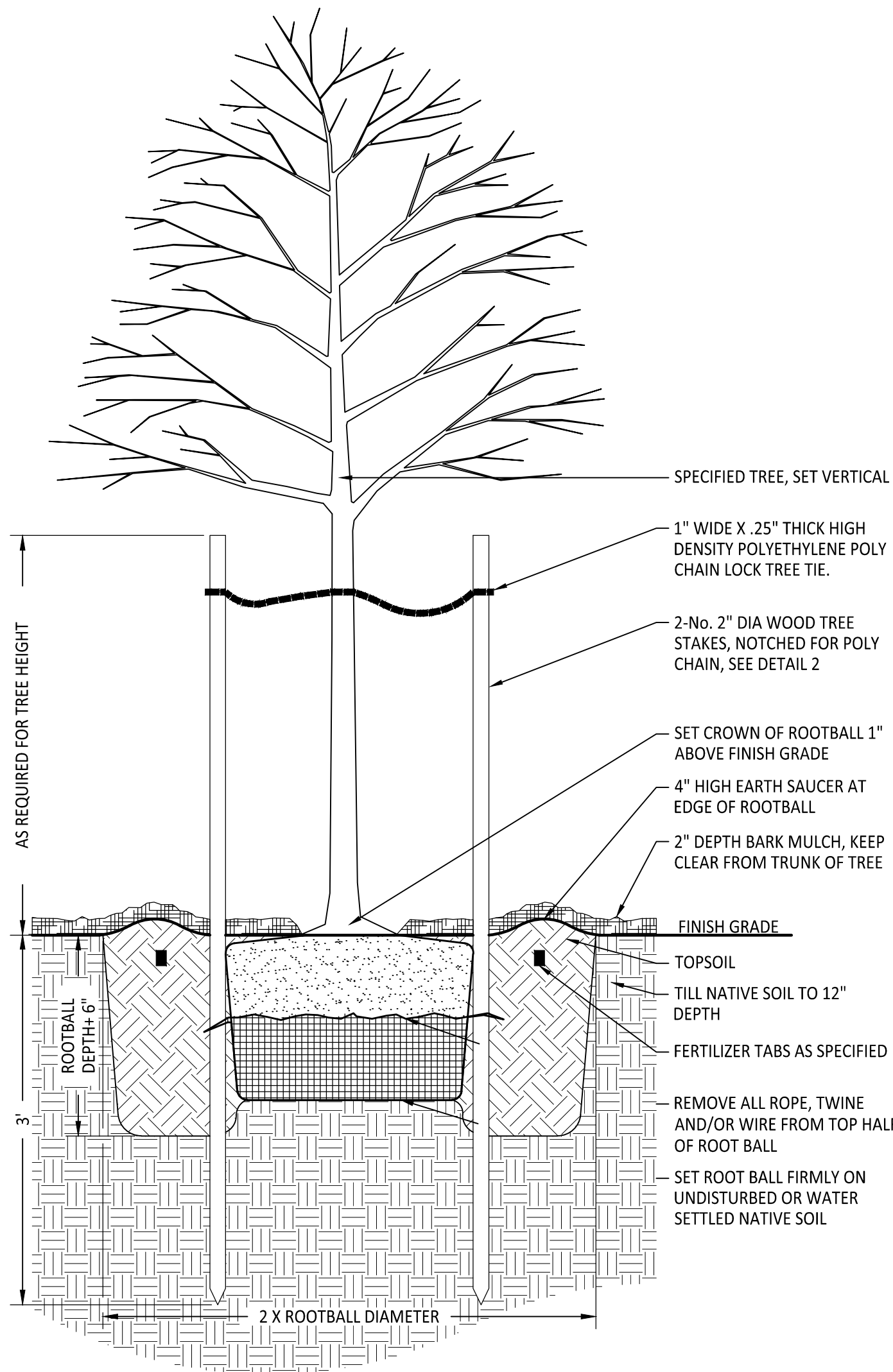
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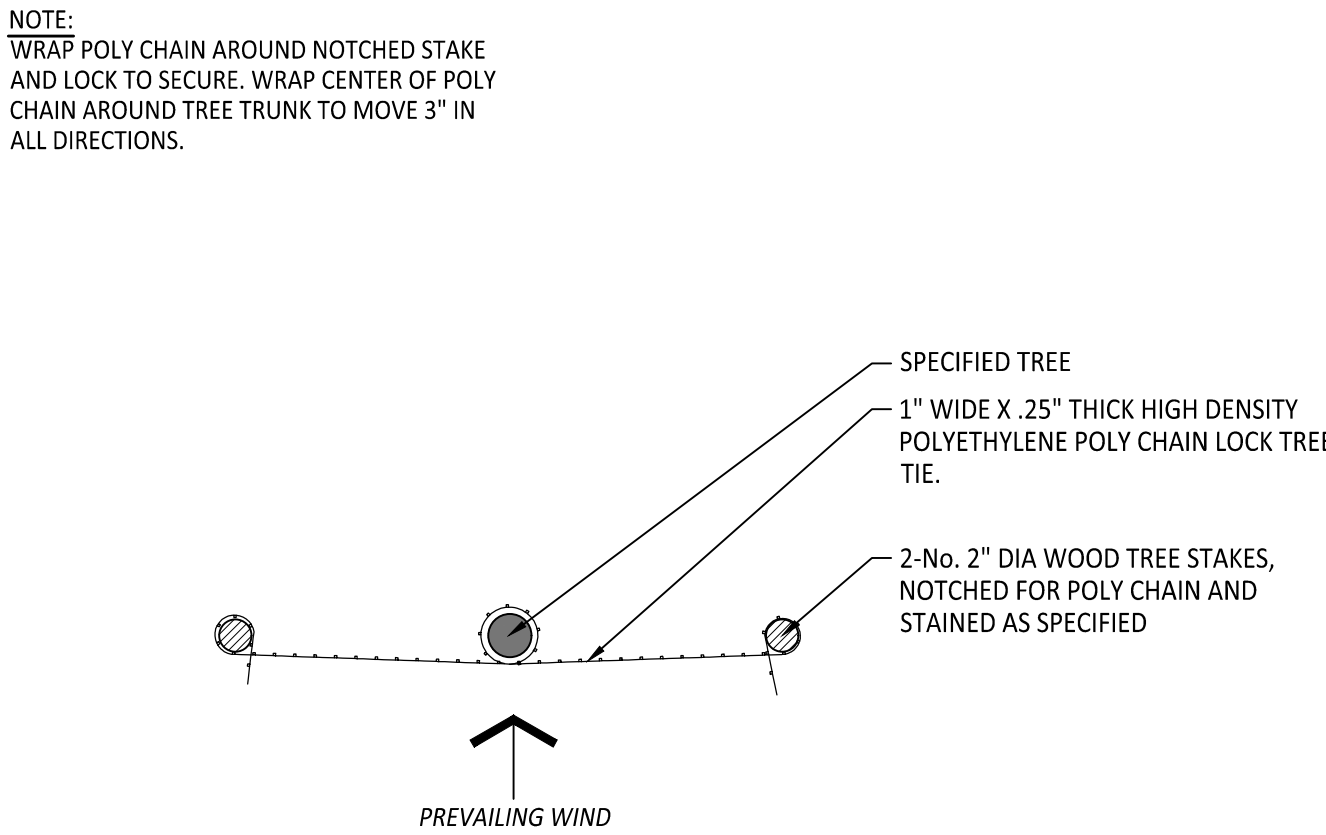
CUSTOM ENDEAVOR
MEDIUM40

PLANTING
PLAN

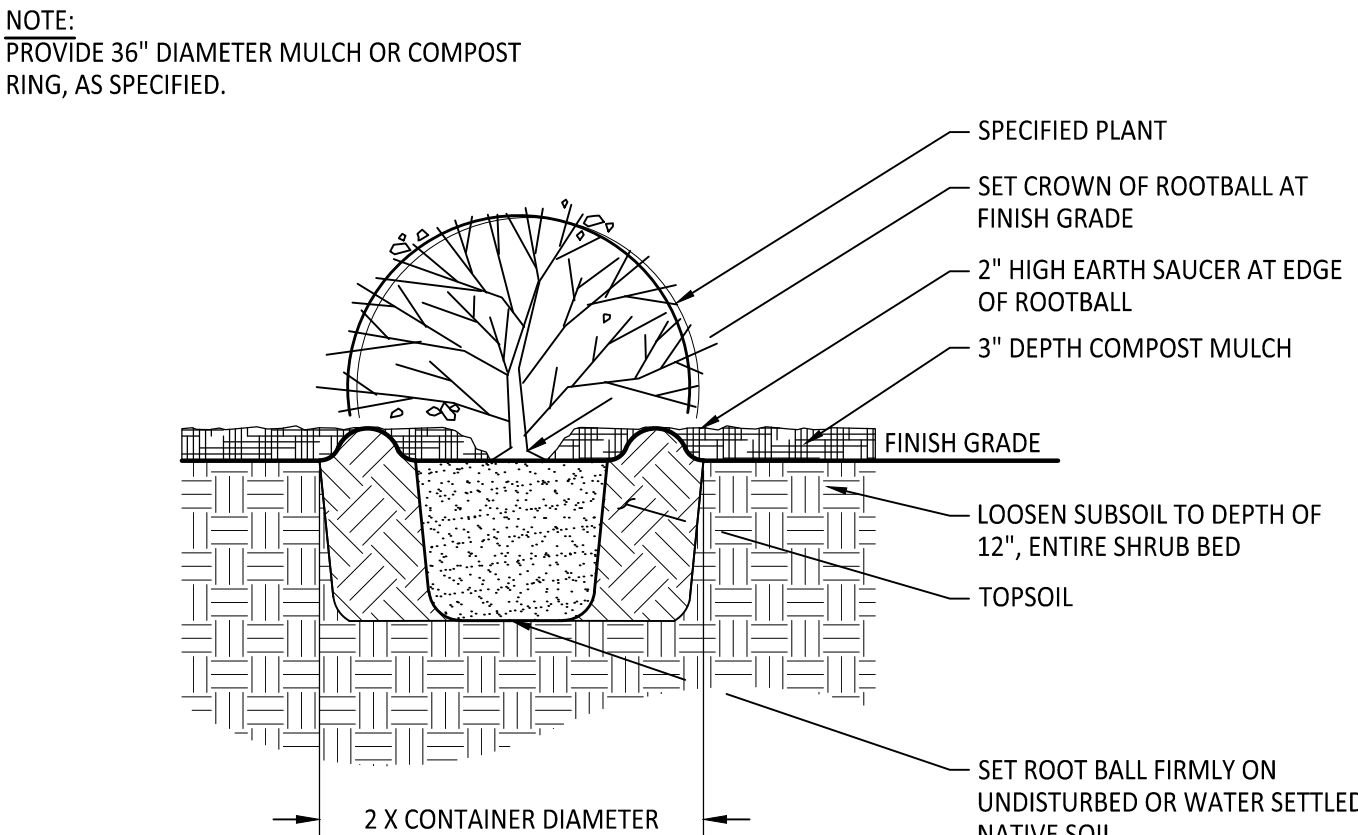
L1.0



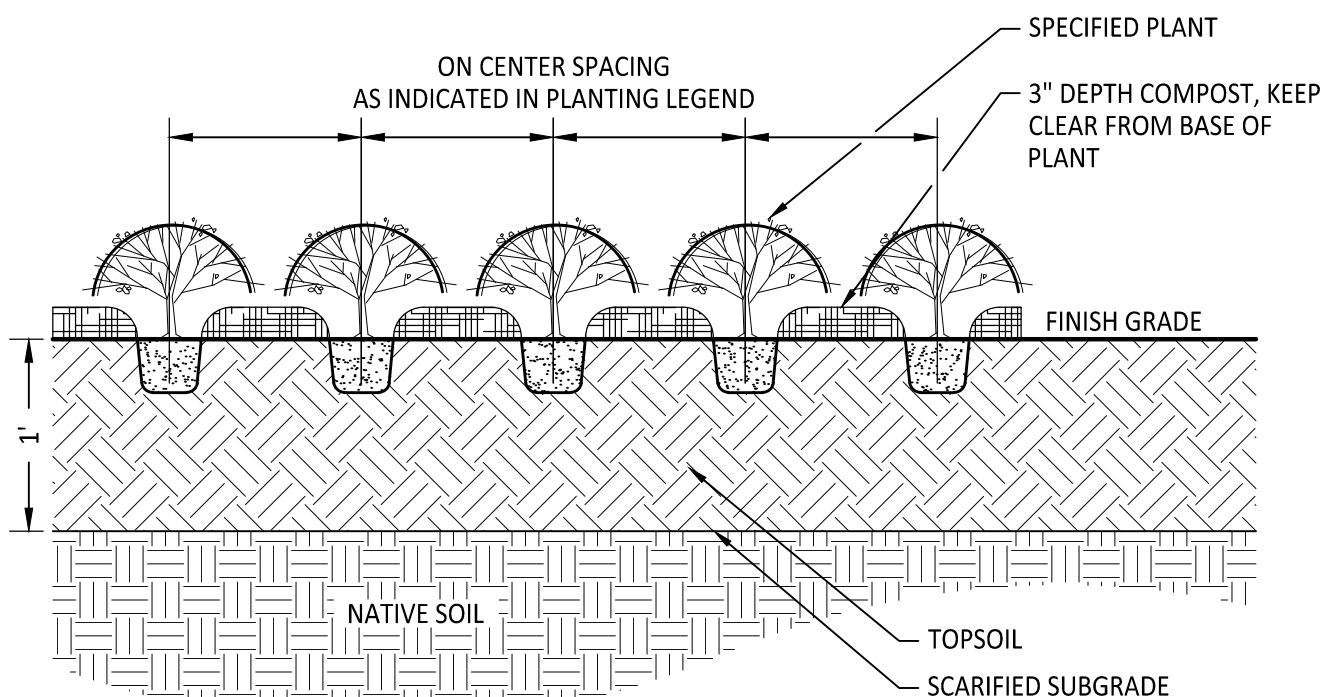
1 DECIDUOUS TREE PLANTING
Section
NOT TO SCALE



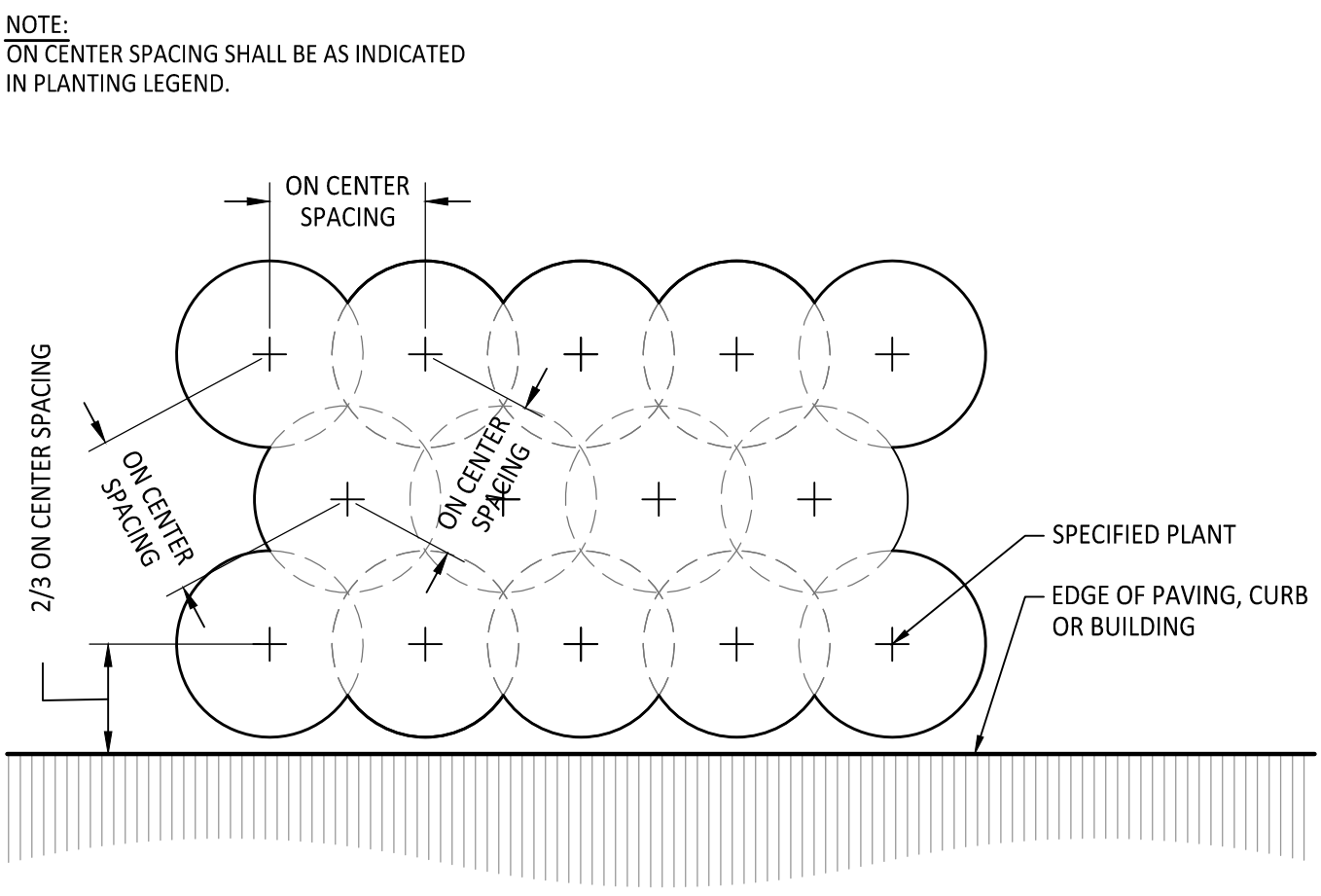
2 TREE STAKING
Plan
NOT TO SCALE



3 SHRUB PLANTING
Section
NOT TO SCALE



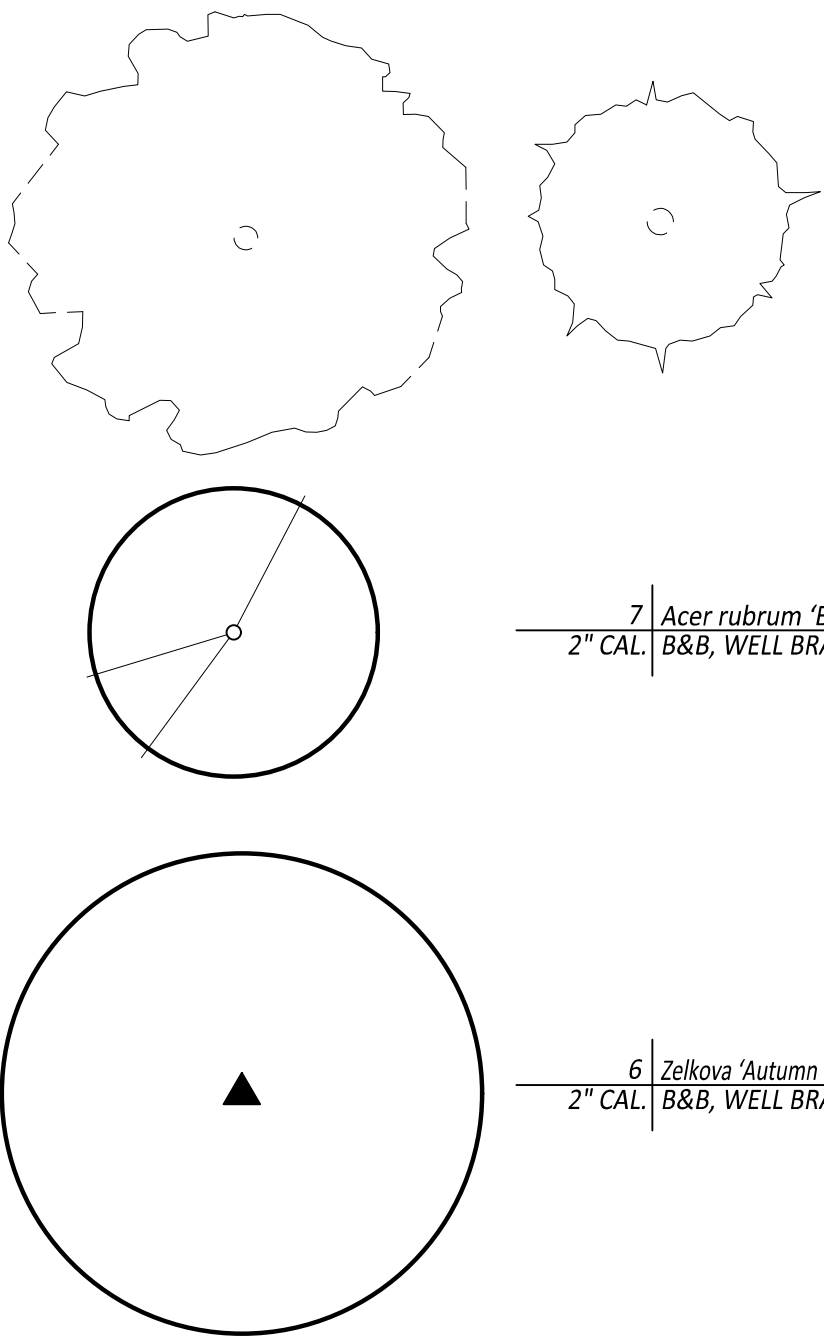
4 GROUNDCOVER PLANTING
Section
NOT TO SCALE



5 TRIANGULAR SPACING
Plan
NOT TO SCALE

PLANT SCHEDULE

TREES



SHRUBS

57	Prunus laurocerasus 'Otto Luyken' - Cherry Laurel
5 GAL	CONT., FULL PLANTS, SPACING AS SHOWN
23	Escallonia 'Compakta' - Compact Escalonia
5 GAL	CONT., FULL PLANTS, SPACING AS SHOWN
8	Thuja plicata 'Whipcord' - Whipcord Cedar
1 GAL	CONT., FULL PLANTS, SPACING AS SHOWN
1	Miscanthus sinensis 'Morning Light' - Maiden Grass
1 GAL	CONT., FULL PLANTS, SPACING AS SHOWN
18	Berberis thunbergii 'Crimson Pygmy' - Dwarf Japanese Barberry
1 GAL	CONT., FULL PLANTS, SPACING AS SHOWN
43	Buxus 'Green Mountain' - Green Mountain Boxwood
5 GAL	CONT., FULL PLANTS, SPACING AS SHOWN
7	Mahonia confusa 'Narihira' - Narihira Mahonia
5 GAL	CONT., FULL PLANTS, SPACING AS SHOWN
4	Yucca filamentosa 'Bright Edge' - Bright Edge Yucca
5 GAL	CONT., FULL PLANTS, SPACING AS SHOWN
9	Spiraea japonica 'SMSIMLG' - Lil' Sizzle Spirea
5 GAL	CONT., FULL PLANTS, SPACING AS SHOWN
12	Salvia x sylvestris 'May Night' - May Night Sage
1 GAL	CONT., FULL PLANTS, SPACING AS SHOWN
3	Iris sibirica 'Butter & Sugar' - Butter & Sugar Siberian Iris
1 GAL	CONT., FULL PLANTS, SPACING AS SHOWN

GROUNDCOVER

82	Cotoneaster dammeri 'Coral Beauty' - Coral Beauty Cotoneaster
4" POTS	CONT., FULL PLANTS, 30" O.C.
57	Liriope muscari 'Variegata' - Variegated Lilyturf
4" POTS	CONT., FULL PLANTS, 12" O.C.
103	Pennisetum alopecuroides 'Little Bunny' - Dwarf Fountain Grass
1 GAL	CONT., FULL PLANTS, 12" O.C.

SEED MIXES

SEED MIX	%	LBS OF PLA/100SF
3,707 SF		
Festuca rubra 'Garnet'	15	1.20
Festuca rubra fallax var 'Winward'	15	1.20
Lolium perenne 'Dasher 3'	35	2.80
Lolium perenne 'Cutter II'	35	2.80
TOTAL		8.00

MISC.

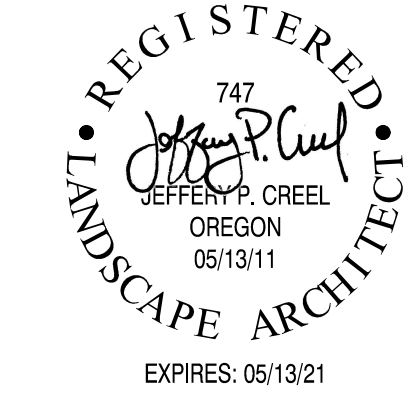
SEASONAL ANNUAL COLOR - 4" POTS (142 SF)
EXISTING LANDSCAPING TO REMAIN



812 SW WASHINGTON ST. # 800
PORTLAND OREGON 97205
PHONE 503.226.0622
WWW.MCA-ARCHITECTS.COM



ENGINEERS PLANNERS
LANDSCAPE ARCHITECTS SURVEYORS
205 SE Spokane Street, Suite 200 Portland, OR 97202
phone: 503.221.1131 www.hhpr.com fax: 503.221.1171



PROJECT #20-109

BID & PERMIT 11/04/20

REVISION A

CONTRACT DATE:
BUILDING TYPE: CUST.ENDEAVOR MED40
PLAN VERSION:
BRAND DESIGNER: DAVE YOCUM
SITE NUMBER:
STORE NUMBER: #18095

TACO BELL

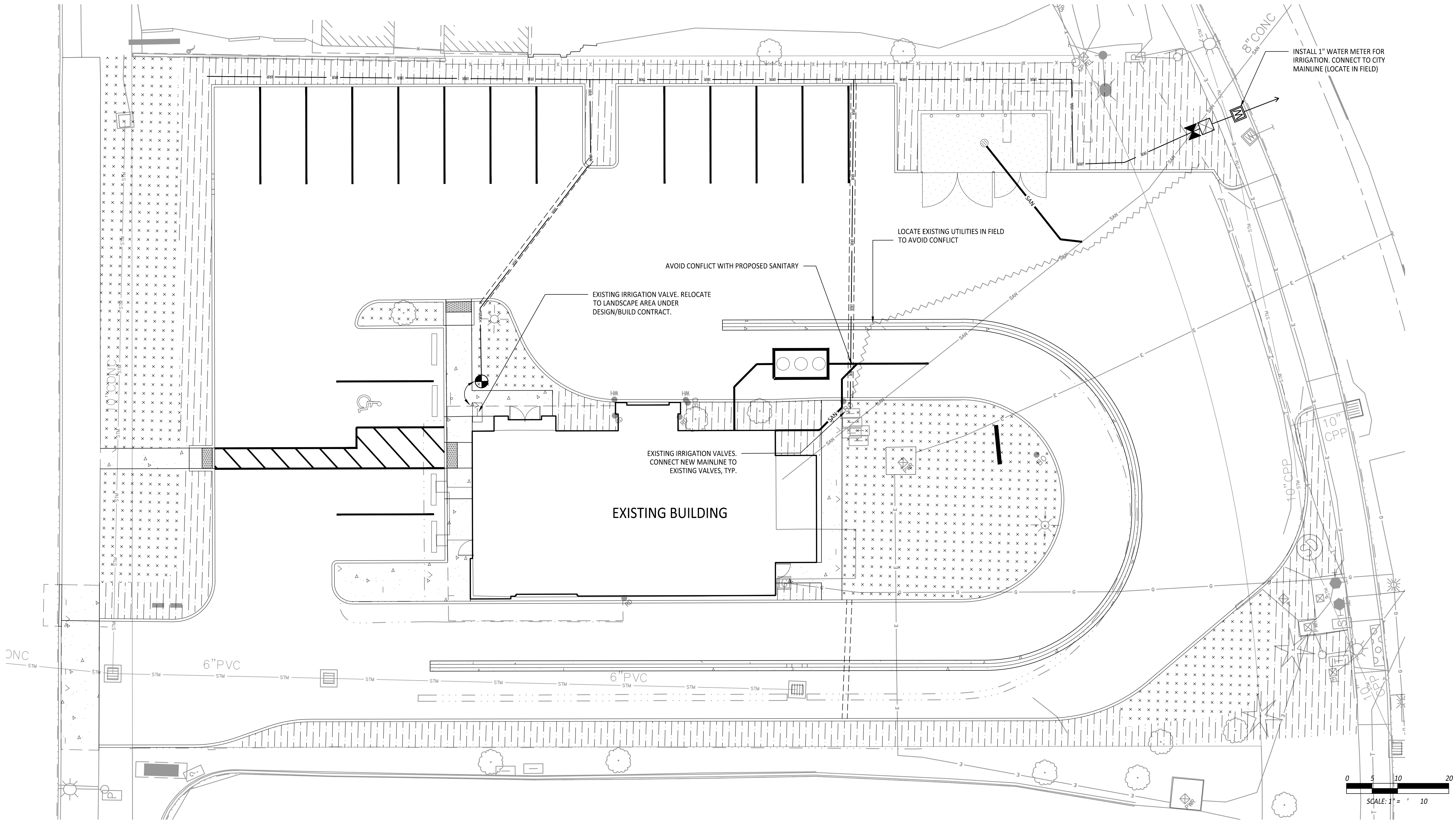
845 SW 1st AVENUE
CANBY, OR 97013



CUSTOM ENDEAVOR
MEDIUM40

PLANTING
DETAILS

L1.1



IRRIGATION LEGEND

EQUIPMENT		DETAIL
SYMBOL	DESCRIPTION	
	BACKFLOW PREVENTOR - FEBCO MODEL 850 Y, 1 1/2" OR APPROVED EQ.	1 L2.1
	BALL VALVE - NIBCO T-560 OR APPROVED EQUAL.	2 L2.1
	WATER METER - 1" WATER METER	L2.2
	REMOTE CONTROL VALVE - RAINBIRD PEB (OR APPROVED EQUAL)	6 L2.2
PIPE		
	MAINLINE - 2 1/2" SCH. 40 PVC	
	SLEEVING - 4" SLEEVE FOR PIPES < 2", 6" SLEEVE FOR PIPES 2.5"-4"	3 L2.1
		4 L2.1

DESIGN / BUILD IRRIGATION NOTES

- AUTOMATIC UNDERGROUND IRRIGATION SYSTEM SHALL BE CONTRACTOR DESIGNED AND INSTALLED. PLANS SHALL BE APPROVED BY OWNER OR OWNER'S REPRESENTATIVE. CONTRACTOR SHALL INSPECT SITE AND VERIFY CONDITIONS AND DIMENSIONS PRIOR TO DESIGN AND CONSTRUCTION.
- PLACE IRRIGATION LINES IN COMMON TRENCH WHENEVER POSSIBLE. FIELD ADJUST LINES TO AVOID CONFLICT WITH UTILITIES.
- COORDINATE IRRIGATION WITH PLANTING PLAN AND SITE IMPROVEMENTS, USE HEAD-TO-HEAD COVERAGE. COORDINATE IRRIGATION HEAD LAYOUT WITH NEW PLANT MATERIALS, LOCATE SPRAY HEADS 30" FROM BASE OF TREE.
- ALL COMPONENTS OF IRRIGATION SYSTEM SHALL BE INSTALLED AND PROPERLY ADJUSTED TO PROVIDE ADEQUATE COVERAGE AND MINIMIZATION OF OVERSPRAY ONTO WALKS, BUILDINGS, PARKING AREAS, ETC.
- INSTALL ALL IRRIGATION PIPE AND CONTROL WIRES IN MINIMUM 4" PVC SLEEVE BELOW ALL PAVED SURFACES. INSTALL SLEEVES PRIOR TO PLACEMENT OF PAVEMENTS AND PAVEMENT SUB-BASE. COORDINATE SLEEVE INSTALLATION THROUGH PLANTER BOXES WITH CONSTRUCTION MANAGER.
- COORDINATE ALL WORK WITH OTHER TRADES, I.E. ELECTRICAL, MASONRY, ETC.
- CONTRACTOR TO PROGRAM AUTOMATIC CONTROLLER TO ALLOW FOR EQUIVALENT OF 1" OF WATER PER WEEK, OR PER SITE AND PLANTING NEEDS FOR BEST PLANT HEALTH.
- PIPES SHALL BE TRENCHED. PROVIDE POSITIVE DRAINAGE OF MAINLINE. PLACE MANUAL DRAIN AT LOW POINTS IN MAINLINE. IDENTIFY LOCATIONS ON AS-BUILTS.
- USE 45° ELLS INSTEAD OF 90° ELLS ON ALL MAINLINES 2-1/2" AND LARGER. INSTALL CONCRETE THRUST BLOCKS AT ALL MAINLINE CHANGES IN DIRECTION. POUR MINIMUM OF 1 CUBIC FOOT OF CONCRETE ON UNDISTURBED SOIL. WRAP PIPE IN PLASTIC WRAP PRIOR TO COVERING WITH CONCRETE.
- CONTRACTOR TO INSTALL CONTROLLER AND ACCESSORIES AS REQUIRED. CONTRACTOR TO FURNISH CONTROL WIRES FROM VALVES TO CONTROLLER. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND PROVIDING 110 VOLT SERVICE TO CONTROLLER.
- INSTALL ONE (1) ADDITIONAL RED CONTROL WIRE AND ONE (1) ADDITIONAL WHITE CONTROL WIRE FROM CONTROLLER TO END OF MAINLINE.
- PROVIDE IRRIGATION SYSTEM DESIGN SHOWING IRRIGATION HEAD AND LATERAL LINE LAYOUT (WITH 100% HEAD-TO-HEAD COVERAGE), QUICK COUPLER LOCATIONS AVERAGING 200 FEET ON CENTER, AND THE LOCATIONS AND SIZES OF ALL SLEEVES, VALVES, CONTROLLERS, WATER METERS, AND BACKFLOW PREVENTOR.
- VERIFY STATIC PRESSURE AT POINT OF CONNECTION. NOTIFY CONSTRUCTION MANAGER PRIOR TO ANY CONSTRUCTION IF PRESSURE IS LOWER THAN 60 PSI.
- SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION TO OWNER'S REPRESENTATIVE FOR REVIEW AND APPROVAL. DRAWINGS TO BE COMPLETED BY EXPERIENCED IRRIGATION DESIGNER AND BE LEGIBLE, PROFESSIONAL QUALITY.
- ALL PROPOSED PLANTS TO RECEIVE IRRIGATION. NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES.
- REPLACE EXISTING CONTROLLER WITH RAINBIRD ESP-ME OR APPROVED EQUAL.

MCA

ARCHITECTS

812 SW WASHINGTON ST. # 800
PORTLAND OREGON 97205
PHONE 503-226-0622
WWW.MCA-ARCHITECTS.COM

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phone: 503.221.1131 www.hhpr.com fax: 503.221.1171

REGISTERED
LANDSCAPE ARCHITECT
747
JEFFERY P. CREEL
OREGON
05/13/11
EXPIRES: 05/13/21

PROJECT #20-109

BID & PERMIT	11/04/20
REVISION A	

CONTRACT DATE:	
BUILDING TYPE: CUST.ENDEAVOR MED40	
PLAN VERSION:	
BRAND DESIGNER: DAVE YOCUM	
SITE NUMBER:	
STORE NUMBER:	#18095

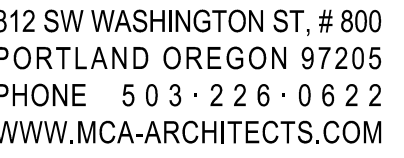
TACO BELL

845 SW 1st AVENUE
CANBY, OR 97013

CUSTOM ENDEAVOR
MEDIUM40

IRRIGATION
PLAN

L2.0



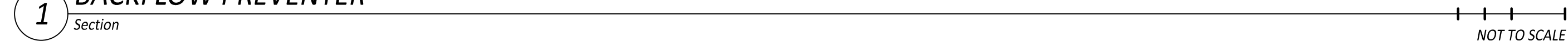
BID & PERMIT	11/04/20
REVISION A	—

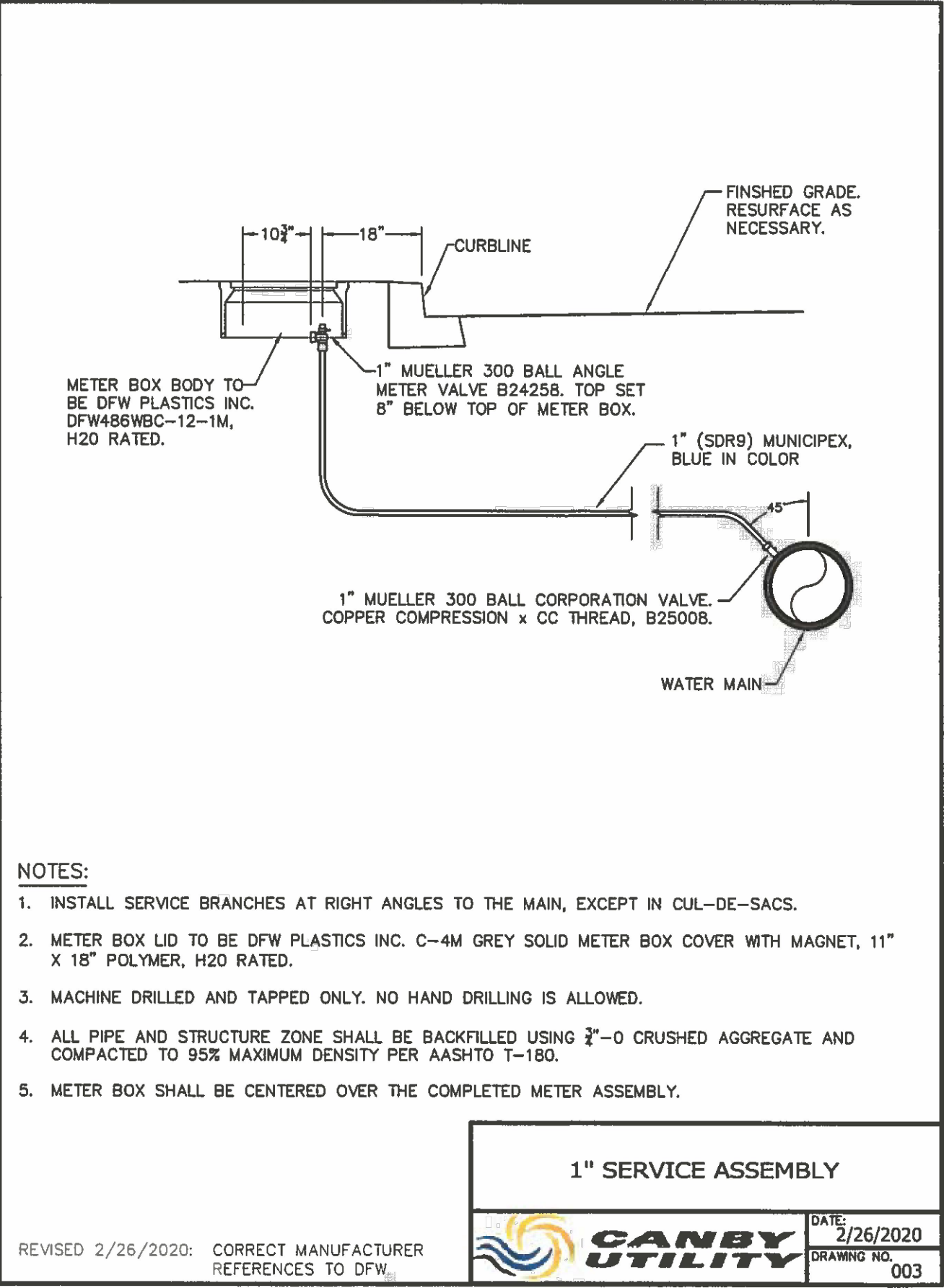
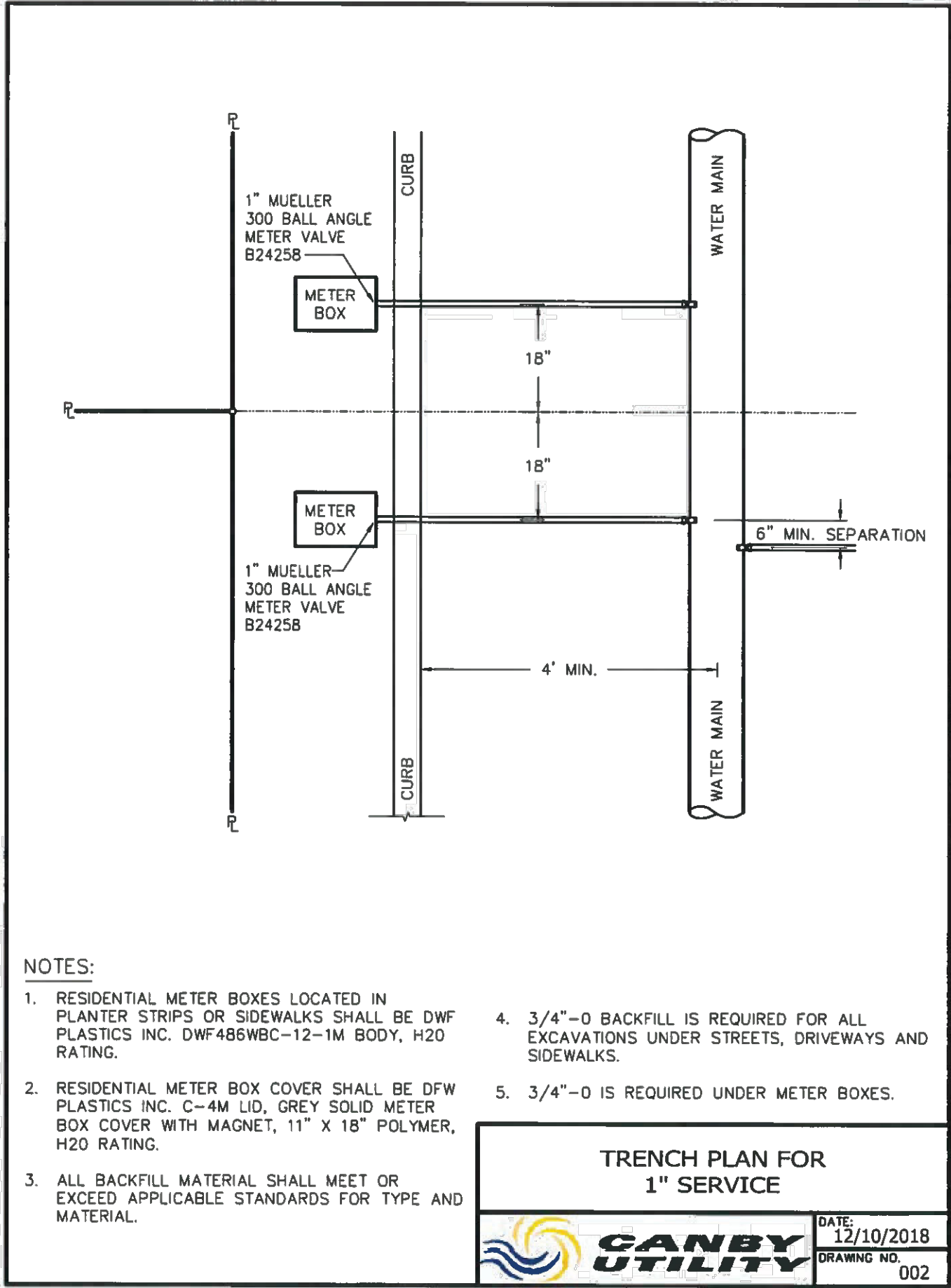
845 SW 1st AVENUE
CANBY, OR 97013



L2.1

2020-11-03





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ARCHITECTS

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747
REGISTERED
LANDSCAPE ARCHITECT
JEFFERY P. CREEL
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PROJECT #20-109

BID & PERMIT	11/04/20
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CONTRACT DATE:
BUILDING TYPE: CUST.ENDEAVOR MED40
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TACO BELL
845 SW 1st AVENUE
CANBY, OR 97013

TACO BELL

CUSTOM ENDEAVOR
MEDIUM40

IRRIGATION
DETAILS

L2.2

City of Canby
Planning Department
222 NE 2nd Avenue
P.O. Box 930
Canby, OR 97013
Ph: 503-266-7001
Fax: 503-266-1574

PRE-APPLICATION SUMMARY

September 22, 2020

Jeff Wright
812 SW Washington St., Suite 800
Portland, OR 97205

Subject: Pre-Application Conference Summary Notes for the Taco Bell Redevelopment Project located at 845 SW 1st Ave.

Dear Mr. Wright,

Thank you for attending the Pre-Application (Pre-App) conference held on September 15, 2020. We are pleased to provide you with the following summary notes prepared in response to your proposal.

Comments prepared by staff are reflective of the proposal as discussed at the Pre-App conference. A copy of your proposal was also sent to other members of staff who did not attend the Pre-App conference, but may provide comments separate from this summary. Please feel free to contact anyone who provided comments. Contact names, telephone numbers and e-mail addresses are listed herein.

Following every Pre-App conference, staff understands that there may be changes to the plan or use considered. If these changes effectively re-design the site plan or involve a change to a use not discussed, please be advised that such a change could require different land use application(s) than were identified by staff at the Pre-App. It is also possible that different issues or concerns may arise from such change. In these cases, we encourage applicants to request a second Pre-App conference for staff to consider the change and provide revised comments accordingly.

In part, the Pre-App conference is intended to assist you in preparing plans and materials for staff to determine your application(s) to be deemed "complete" as described in Section 16.89.080 of the Canby Land & Development Planning Ordinance. For your application to be deemed complete on the first review, you must provide everything required as identified on the Application Checklist(s) found within the appropriate Land Use Application, in addition to any materials or special studies identified in the summary notes hereto. If you have questions as to the applicability of any item on the Application Checklist(s), or within this summary, please contact me directly.

Sincerely,

Brianna Addotta
Associate Planner
(503) 266-0686

PRE-APPLICATION CONFERENCE

SUMMARY NOTES

Prepared for

845 SW 1st Avenue – Taco Bell Redevelopment

PRA 20-04

The following pre-application summary notes have been prepared by Planning staff in order to assist you with the application submittal process. All applicable standards, guidelines and policies of the Canby Land Development & Planning Ordinance, Comprehensive Plan, Transportation System Plan, and the Public Works Design Standards identified herein are available for review on the City's web site at: <https://canbyoregon.gov/>. Copies of these documents are also available for review at the City's Development Services Department. The following is intended to identify applicable code sections, requirements and key issues for your proposed development application.

PRE-APPLICATION CONFERENCE DATE: September 15, 2020

PROJECT INFORMATION:

Project Name:	845 SW 1 st Ave – Taco Bell Redevelopment
Project Description:	The applicant seeks to redevelop the structure and site of an existing Taco Bell. The scope of work includes removing 12 parking stalls, moving the drive thru lane closer to the building to accommodate more landscaping, updating the menu board and signage, and installing a drive thru canopy.
Property Owner(s):	Tofte Trust c/o: O'Anne Tofte 1574 S Redwood St. Canby, Or 97019
Project Site Address:	845 SW 1 st Avenue, Canby, OR
Tax Lot Number(s):	41E04BB 01001
Site Size:	0.64 acres
Zoning:	C-2 Highway Commercial zone (CMC 16.28)
Overlay:	OHC Outer Highway Commercial (CMC 16.41)
Comp. Plan Designation:	CM Commercial/Manufacturing

APPLICANT INFORMATION:

Applicant(s):	Jeff Wright 812 SW Washington Suite 800 Portland, OR 97205
Phone/Email:	(503) 226-0622; wright@mca-architects.com

SECTION 16.89.080 (APPLICATION REQUIREMENTS AND COMPLETENESS):

The completeness process is governed by Section 16.89 of the Canby Land Development and Planning Ordinance. The applicant is encouraged to contact staff to ask any questions or request clarification of any items found on the land use application checklists related to the proposed project.

LAND USE APPLICATION(S) AND FEES:

Based on the plans and materials provided, the applications identified below are the possible applicable applications.

Site and Design Review <i>Site between .25 and 2 acres</i> Type II or Type III	 \$2,000 \$2,600
--	----------------------------

Note: Applicable fees are those in effect at the time a complete application is received. The City's Master Fee Schedule is available at https://canbyoregon.gov/updated_docs/MasterFeeSchedule.pdf

CLASSIFICATION OF APPLICATIONS:

Applications are subject to the procedure (Type) specified in Table 16.89.020 *Land Use and Development Application Procedures*. When an applicant submits more than one complete application for a given proposal, and the applications are subject to different procedure types, all the applications will be subject to the procedure type which requires the broadest notice and opportunity for public participation.

SECTION 16.89.070 (NEIGHBORHOOD MEETINGS):

A neighborhood meeting must be conducted by the project applicants for Type 3 applications. At this time (Sept/Oct 2020), applicants may hold meetings virtually through a platform that is free for the public to access. Noticing must include detailed instructions on how to attend the virtual meeting.

At least two weeks prior to the neighborhood meeting, the applicant shall mail notice of the meeting to:

1. The appointed chair of any neighborhood association in whose boundaries the application lies (if applicable)
2. Property owners and tenants within 500 feet of the subject property.

In order for an application to be complete, after the meeting applicants shall submit to the City:

1. A copy of the mailed notice and addresses within 500 feet of the subject property.
2. A copy of the attendance sheet.
3. A written summary of pertinent issues raised and a detailed response to each issue.

Applicants or attendees may make audio or video recordings of the neighborhood meeting if desired. A sample notice letter has been included with this summary.

<u>Project Site:</u> 845 S 1 st Avenue
<u>Neighborhood Association:</u> None

APPLICATION SUBMITTAL:

Your application narrative will need to explain how and why the proposed application(s) will meet each of the approval standards and criteria for the proposed project. Approval standards and criteria in effect at the time an application is received will control and are subject to change.

In order for your application(s) to be deemed “complete”, a written response is necessary, supported by substantial evidence in response to all applicable approval standards and criteria. **Please note: Applicant’s written response should address each criterion.** If response to criterion is “Not Applicable”, please explain why the criterion is not applicable.

The proposed project is subject to the following sections of the *Canby Land Development and Planning Ordinance* are subject to your proposed development project. Please review when preparing your land use application(s) written and plan information, as well as application narrative for the formal application submittal.

APPLICABLE CODE SECTIONS / PLANNING DOCUMENTS:

Chapter	Section
16.08 General Provisions	16.08.110 – <i>Fences (E)</i>
	16.08.160 – <i>Safety and Functionality Standards</i>
16.10 Off-Street Parking and Loading	16.10.050 – <i>Parking Standards designated</i>
	16.10.070 – <i>Parking Lots and Access</i>
	16.10.080 – <i>Street Tree Plan</i>
	16.10.090 – <i>Drive-up Uses</i>
	16.10.100 – <i>Bicycle Parking</i>
16.28 C-2 Highway Commercial Zone	16.28.030 – <i>Development Standards</i>
16.41 Downtown Canby Overlay Zone	16.41.050 – <i>Development Standards (A.2, B.2, C.2) (E.2 & F.2)</i>
16.43 Outdoor Lighting Standards	As applicable to the LZ2 zone
16.46 Access Limitations on Project Density	16.46.030 – <i>Access Connection</i>
	16.46.070 – <i>Exception standards</i>
16.49 Site and Design Review	16.49.040 – <i>Criteria and Standards</i>
	16.49.065 – <i>Bicycle and Pedestrian Facilities</i>
	16.49.080 through 16.49.120 – <i>Landscaping Criteria</i>
16.89 Application and Review Procedures	16.89.040 - <i>Type II procedure: Site and Design Review Type II</i>
	16.89.050 - <i>Type III procedure: Site and Design Review Type III</i>
	16.89.070 – <i>Neighborhood Meetings (Type III)</i>
	16.89.080 – <i>Application Requirements and Completeness</i>

KEY ISSUES/CONSIDERATIONS:

Staff has identified the following key development and/or procedural issues that you should be aware of as you prepare your formal application for submittal. The identification of these issues or considerations here does not preclude the future identification of other key issues or considerations:

1. Wastewater Comments provided by Daryll Hughes, City Pretreatment Coordinator

- a. The restaurant currently utilizes a grease trap, it's recommended that a grease interceptor is installed in its place during the remodel.
 - i. Applicant stated they intend to install a grease interceptor during the remodel.

2. Transportation Comments provided by Hassan Ibrahim, P.E.

- a. The condition and ADA compliance of the existing sidewalk along Highway 99E needs to be evaluated to determine whether it is satisfactory or shall be reconstructed.
 - i. Applicant asked if the City would be contributing to any required upgrades. City staff confirmed that it is the applicant's responsibility to bring the frontage immediately adjacent into compliance with current ADA standards.
- b. The existing driveway along Highway 99E needs to be checked for ADA compliance, if it is found to be in noncompliance, it shall be reconstructed.
- c. The existing sewer lateral needs to be TV inspected by the City prior to reconnection.
 - i. Applicant stated the intent is to install a new 6" line in the location of the current line.
- d. The current private storm system should be adequate.
- e. The improvements on SW 4th Avenue along the site frontage were constructed a few years ago and no new improvements are required.

3. Fire Safety: Be sure to contact Canby Fire District for all fire safety requirements applicable to the redevelopment.

Included below is the contact information for key members of City and agency staff should you have any questions.

Daryll Hughes, City Wastewater Pretreatment Coordinator: hughesd@canbyoregon.gov 503-266-1248

Hassan Ibrahim, P.E., Consulting City Engineer: hai@curran-mcleod.com 503-684-3478

Matt English, Division Chief, Canby Fire: menglsih@canbyfire.org 503-266-5851

We sincerely thank you for your interest in developing in the City of Canby, we look forward to working with you.

Sincerely,

Brianna Addotta
Associate Planner
(503) 266-0686
addottab@CanbyOregon.gov

Taco Bell Canby Renovations
Canby, Oregon

Project Meeting Notes
of October 08, 2020

Present:

Jeff Wright MCA Architects 503 226-0622 wright@mca-architects.com

The following items were discussed, not necessarily in the order listed.

- A. No adjacent property owners attended the meeting: The meeting invitation was mailed on September 24, 2020 for the virtual meeting on October 08, 2020 from 10:00 AM to 11:00 AM. The meeting began at 9:55 with no one joining the meeting. The meeting was left open until 11:00 AM with no attendees other than MCA Architects.
-

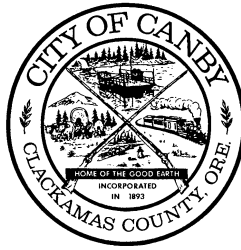
The preceding is believed to be a complete and accurate record of the significant items and actions discussed at the meeting. Please advise the author immediately of any additions or corrections.

By: Jeff Wright, MCA Architects, PC

Distributed: October 08, 2020

Distribution: All Attendees

20109_2.1_pmn_2020-10-08 Neighborhood Meeting #01



**BEFORE THE PLANNING COMMISSION
OF THE CITY OF CANBY**

A REQUEST FOR SITE AND DESIGN REVIEW FOR THE REDEVELOPMENT OF THE EXISTING USE OF A QUICK SERVICE DRIVE THRU RESTAURANT.)))))	FINDINGS, CONCLUSION & FINAL ORDER DR 20-05 TACO BELL
---	-----------------------	---

NATURE OF THE APPLICATION

The Applicant has sought approval Planning Commission approval to move the drive thru lane closer to the existing building, removing 12 parking stalls, install a drive thru canopy, and update the menu board and signage.

The 0.64 acre site, zoned Highway Commercial (C-2) and located in the Outer Highway Commercial Overlay (OHC), is currently developed as a Taco Bell quick service drive thru restaurant. The existing building is 2,152 square feet with a drive thru, 7.7% site coverage. The site is considered fully developed with 30 parking stalls including two ADA parking spots, lighting, a fenced garbage enclosure, and the required 15% site landscaping including eight trees and assorted vegetation.

HEARINGS

The Planning Commission considered applications **DR 20-05** after the duly noticed hearing on January 14, 2021 during which the Planning Commission approved by a ___/___ vote **Taco Bell Redevelopment (City File# DR 20-05)**. These Findings are entered to document the approval.

CRITERIA AND STANDARDS

In judging whether or not the aforementioned application shall be approved, the Planning Commission determines whether criteria from the City of Canby Land Development and Planning Ordinance are met, or can be met by observance of conditions. Applicable code criteria and standards were reviewed in the Staff Report dated December 30, 2020 and presented at the January 14, 2021 meeting of the Canby Planning Commission.

FINDINGS AND REASONS

The Staff Report was presented, and written and oral testimony was received at the public hearing. Staff recommended approval of the Site and Design Review and Partition applications and applied Conditions of Approval in order to ensure that the proposed project will meet all required City of Canby Land Development and Planning Ordinance approval criteria.

CONCLUSION

In summary, the Planning Commission adopted the findings contained in the Staff Report along with the additional findings concluded at the public hearing and noted herein, concluding that the application met all applicable approval criteria to the extent feasible, and recommending that **Taco Bell Redevelopment (City File# DR 20-05)** be approved with the Conditions of Approval reflected in the written Order below.

ORDER

The Planning Commission concludes that, with the following conditions, the application meets the requirements for Site and Design Review and Partition approval. Therefore, IT IS ORDERED BY THE PLANNING COMMISSION of the City of Canby that **Taco Bell Redevelopment (City File# DR 20-05)** is approved, subject to the following conditions:

CONDITIONS OF APPROVAL

Site Access:

1. City inspection of driveways and sidewalks for overall condition and for ADA compliance is required. (H. Ibrahim)
2. The applicant will coordinate with ODOT and Canby Utility is required for frontage work along HWY 99E. Street lighting will be required. (J. Nelzen)

Project Design/Site Plan:

3. The applicant shall provide a bicycle parking detail showing compliance with the dimensional standards of bicycle parking as explained in CMC 16.49.065 (B. Addotta)
4. A lighting plan shall be submitted to the City consistent with Chapter 16.43, *Outdoor Lighting Standards*, of the Municipal Code. This shall include an exhibit(s) demonstrating that the proposed light fixtures would be shielded and that light generated would not exceed the maximum lumens identified in Table 16.43.070 of the Canby Municipal Code. (B. Addotta)

Building Permits:

5. The project applicant shall apply for Clackamas County Building permits and a City of Canby Erosion Control Permit from the Canby Public Works Department. (B. Addotta)
6. Clackamas County Building Codes Division will provide structural, electrical, plumbing, and mechanical plan review and inspection services for construction of the project. (B. Addotta)

Prior to Occupancy:

7. Prior to occupancy of the facility, all landscaping plant material indicated on the submitted landscape plan shall either be installed and irrigated as proposed, or

sufficient security (bonding, escrow, etc.) shall be provided pursuant to the provisions of CMC 16.49.100 (B). The applicant should be aware that the City street tree fee is now \$250 per tree if planted by the City, and the City recommends submittal of a separate Street Tree Plan to assist in the location, species, and total tree count. (B. Addotta)

I CERTIFY THAT THIS ORDER approving **DR 20-05 TACO BELL REDEVELOPMENT**, was presented to and **APPROVED** by the Planning Commission of the City of Canby.
DATED this 14TH day of January, 2021.

John Savory
Planning Commission Chair

Don Grady
Planning Director

Laney Fouse Lawrence, Attest
Recording Secretary

ORAL DECISION: January 14, 2021

<i>Name</i>	<i>Aye</i>	<i>No</i>	<i>Abstain</i>	<i>Absent</i>
<i>John Savory</i>				
<i>Larry Boatright</i>				
<i>Jennifer Trundy</i>				
<i>Jeff Mills</i>				
<i>Jason Taylor</i>				
<i>Michael Hutchinson</i>				
<i>Vacant</i>				

WRITTEN DECISION: January 14, 2021

<i>Name</i>	<i>Aye</i>	<i>No</i>	<i>Abstain</i>	<i>Absent</i>
<i>John Savory</i>				
<i>Larry Boatright</i>				
<i>Jennifer Trundy</i>				
<i>Jeff Mills</i>				
<i>Jason Taylor</i>				
<i>Michael Hutchinson</i>				
<i>Vacant</i>				