

# NEW MULTI FAMILY DEVELOPMENT

# 3RD AVENUE APARTMENTS

## SITE PLAN REVIEW

0 SW 3RD AVENUE, CANBY OR

### VICINITY MAP:



### AERIAL PHOTO:



### DRAWINGS LIST:

| Sheet Number           | Sheet Name                     | Current Revision | Current Revision Date |
|------------------------|--------------------------------|------------------|-----------------------|
| GENERAL DRAWINGS       |                                |                  |                       |
| G0.01                  | COVER SHEET                    |                  |                       |
| ARCHITECTURAL DRAWINGS |                                |                  |                       |
| C1                     | EXISTING CONDITIONS            |                  |                       |
| C2                     | SITE PLAN                      |                  |                       |
| C3                     | PRELIMINARY GRADING            |                  |                       |
| ARCHITECTURAL DRAWINGS |                                |                  |                       |
| L1.1                   | PRELIMINARY PLANTING PLAN      |                  |                       |
| ARCHITECTURAL DRAWINGS |                                |                  |                       |
| A1.01                  | SITE PLAN - OVERALL            |                  |                       |
| A1.02                  | SITE PLAN                      |                  |                       |
| A1.21-A                | BLDG A - FLOOR PLAN - LEVEL 01 |                  |                       |
| A1.21-B                | BLDG B - FLOOR PLAN - LEVEL 01 |                  |                       |
| A2.01-A                | BLDG A - BLDG ELEVATIONS       |                  |                       |
| A2.02-A                | BLDG A - BLDG ELEVATIONS       |                  |                       |
| A2.03-B                | BLDG B - BLDG ELEVATIONS       |                  |                       |
| A2.04-B                | BLDG B - BLDG ELEVATIONS       |                  |                       |

### SYMBOL LEGEND:

|                                                                                                                                           |                                                                             |
|-------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------|
| <b>ELEVATION DATUM:</b>                                                                                                                   | <b>WINDOW TYPE:</b>                                                         |
| ELEVATION<br>F.F.E.<br>ELEVATION DATUM LOCATION:                                                                                          | REFER TO WINDOW ELEVATIONS SHOWN ON DRAWINGS A5.1X                          |
| <b>SECTION REFERENCE:</b>                                                                                                                 | <b>DOOR NUMBER:</b>                                                         |
| FILLED ARROW DENOTES BUILDING SECTION<br>OPEN ARROW DENOTES WALL SECTION/DETAIL<br>DETAIL NUMBER<br>SHEET NUMBER<br>SIDE NOTE IF REQUIRED | DOOR SIZE OR NUMBER                                                         |
| <b>ELEVATION REFERENCE:</b>                                                                                                               | <b>PLAN NOTE DESIGNATION:</b>                                               |
| ELEVATION NUMBER OR DESIGNATION AS OCCURS<br>SHEET NUMBER                                                                                 | PLAN OR SIDE NOTE NUMBER<br>MARK OR DIAGONAL NOTE NUMBER<br>REVISION NUMBER |
| <b>DETAIL REFERENCE:</b>                                                                                                                  | <b>ROOM TITLE + NUMBER:</b>                                                 |
| DETAIL NUMBER<br>SHEET NUMBER<br>SIDE NOTE IF REQUIRED<br>DETAIL CUT LOCATION IF SHOWN                                                    | ROOM NAME<br>ROOM NUMBER                                                    |
|                                                                                                                                           | <b>WALL TYPE MARK:</b>                                                      |
|                                                                                                                                           | WALL OR PARTITION CONSTRUCTION TYPE. SEE LEGEND.                            |

### PROJECT TEAM:

|                                                                                                                                                                     |                                                                                                                                                              |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>OWNER:</b><br>State Street Homes, Inc.<br>Brandon Gill<br>1233 NW Northrup St. #135<br>Portland, OR 97209<br>P: 503.954.8545<br>E: brandon@statestreet-homes.com | <b>LANDSCAPE ENGINEER:</b><br>Laura Antonson, RLA<br>Laurus Designs<br>1012 Pine st.<br>Silverton, OR 97381<br>P: 503.784.6494<br>E: laura@laurusdesigns.com |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------|

**ARCHITECT:**  
STUDIO 3 ARCHITECTURE, Inc.  
Gene Bolante, AIA  
275 Court Street St. NE  
Salem OR 97301  
P: 503.390.6500  
E: gene@studio3architecture.com  
W: www.studio3architecture.com

**CIVIL ENGINEER & SURVEYOR:**  
Stuntzner Engineering & Forestry  
Nick Blundon, P.E.  
2318-B Pacific Avenue  
Forest Grove OR 97116  
P: 503.357.5717  
E: nblundon@stuntzner.com

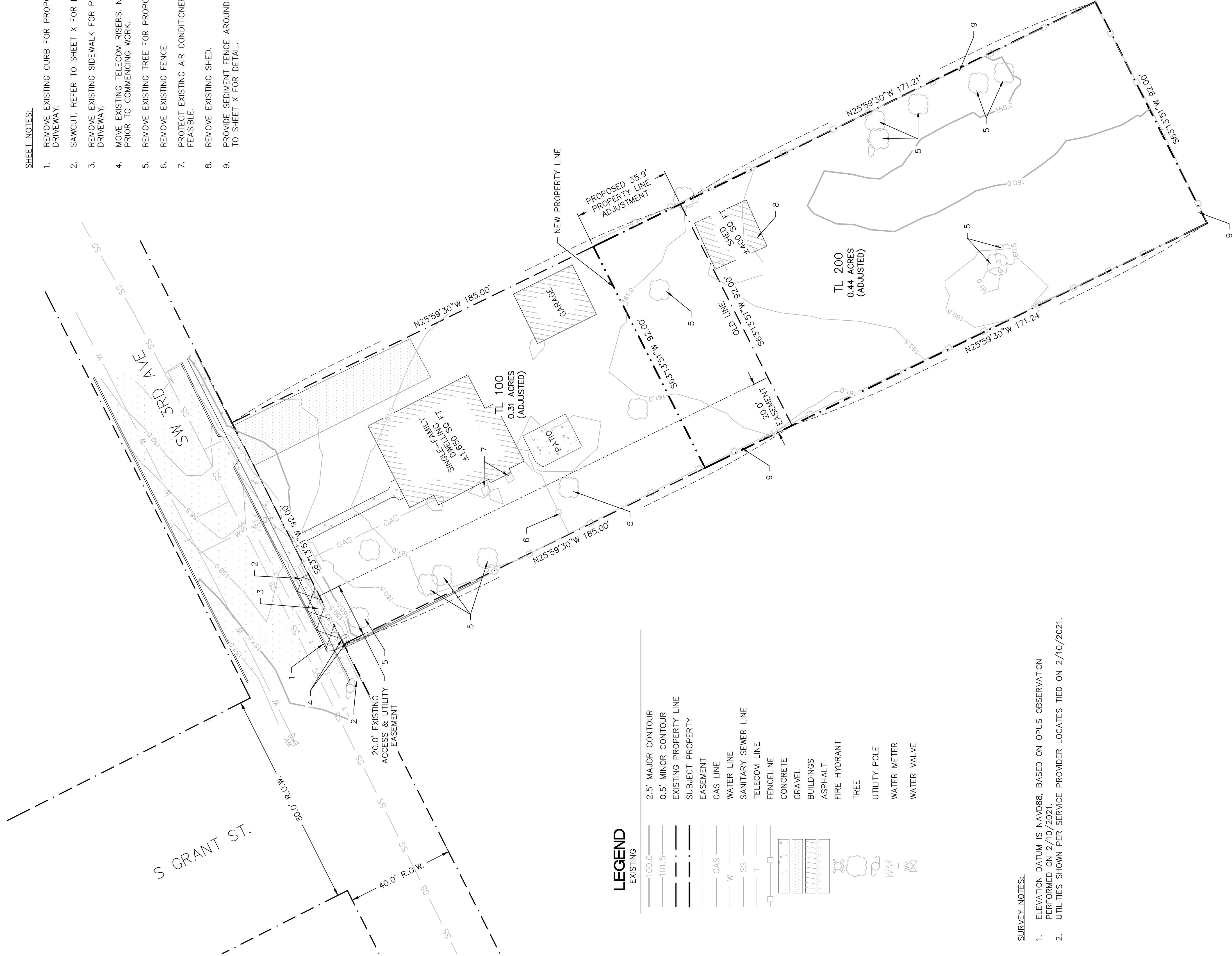
STUNTZNER ENGINEERING & FORESTRY MAKES NO REPRESENTATION AS TO THE EXISTENCE OR NON-EXISTENCE OF UTILITIES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH THE PROVISIONS OF ORS 757.542 TO 757.562 & 757.993. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE RESULTING FROM DISRUPTION OF SERVICE CAUSED BY CONSTRUCTION ACTIVITIES.

# EXISTING CONDITIONS

TAX LOT 200 OF SEC. 32BA T4S, R1E, CLACKAMAS COUNTY, WILLAMETTE MERIDIAN  
ADJACENT TO 285 S 3RD AVE, CANBY OR 97013  
ZONE: R-2 (HIGH DENSITY RESIDENTIAL)



- SHEET NOTES:
1. REMOVE EXISTING CURB FOR PROPOSED COMMERCIAL CONCRETE DRIVEWAY.
  2. SAWCUT. REFER TO SHEET X FOR DETAILS.
  3. REMOVE EXISTING SIDEWALK FOR PROPOSED CONCRETE COMMERCIAL DRIVEWAY.
  4. MOVE EXISTING TELECOM RISERS. NOTIFY FRANCHISE UTILITY PURVEYOR PRIOR TO COMMENCING WORK.
  5. REMOVE EXISTING TREE FOR PROPOSED ASPHALT DRIVEWAY.
  6. REMOVE EXISTING FENCE.
  7. PROTECT EXISTING AIR CONDITIONER UNITS TO THE MAXIMUM EXTENT FEASIBLE.
  8. REMOVE EXISTING SHED.
  9. PROVIDE SEDIMENT FENCE AROUND PERIMETER OF THE PROJECT. REFER TO SHEET X FOR DETAIL.

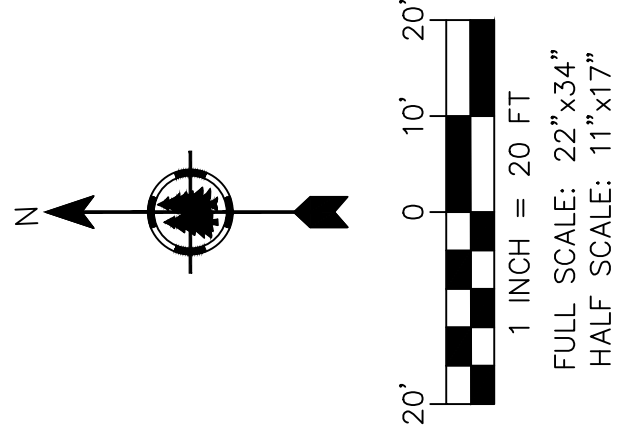


## LEGEND

- [illegible]

SURVEY NOTES:

1. ELEVATION DATUM IS NAVD88, BASED ON OPUS OBSERVATION PERFORMED ON 2/10/2021.
2. UTILITIES SHOWN PER SERVICE PROVIDER LOCATES TIED ON 2/10/2021.

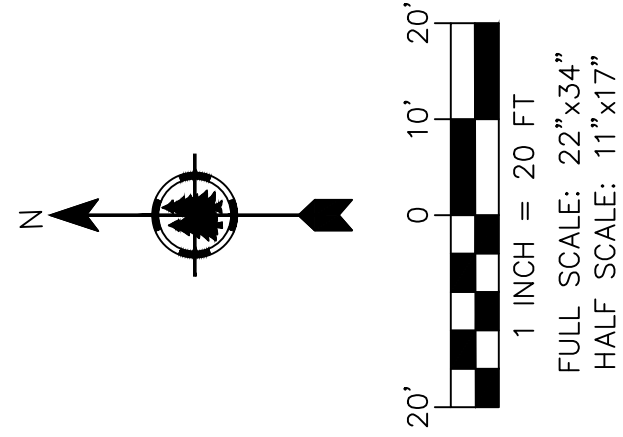
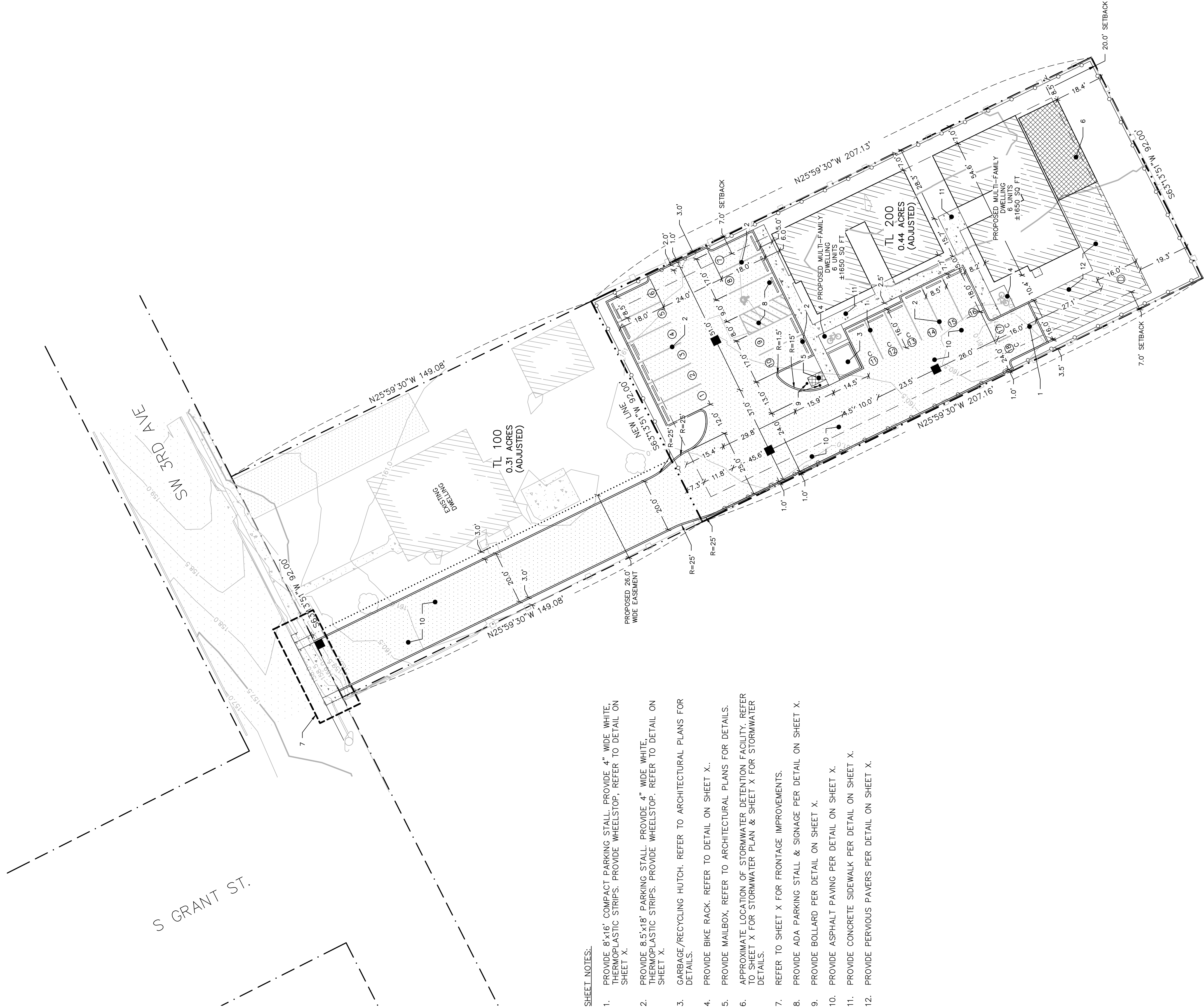


|                                                                                                                                                                                                                                                                                                                               |                                                                                                                                                                |                                                                |                                      |  |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------|--------------------------------------|--|
|  <p><b>Stuntzner Engineering &amp; Forestry, LLC</b><br/>         REGISTERED PROFESSIONAL ENGINEER<br/>         #83,725<br/> <i>Nicholas G. Blundin</i><br/>         OREGON<br/>         JAN. 12, 2006<br/>         EXPIRES 12/31/21</p> | <p><b>Stuntzner Engineering &amp; Forestry, LLC</b><br/>         ENGINEERING • LAND SURVEYING • FORESTRY<br/>         CONSULTING • PLANNING • WATER RIGHTS</p> |                                                                | <p><b>Mar. 30, 2021</b> — 8:49am</p> |  |
|                                                                                                                                                                                                                                                                                                                               | <p>2318-B PACIFIC AVENUE<br/>         FOREST GROVE, OREGON 97116</p>                                                                                           |                                                                | <p><b>Mar. 30, 2021</b> — 8:49am</p> |  |
| <p>DESIGNED BY: NGB</p>                                                                                                                                                                                                                                                                                                       |                                                                                                                                                                | <p><b>SHEET 1 - EXISTING CONDITIONS</b></p>                    |                                      |  |
| <p>DRAWN BY: SIE</p>                                                                                                                                                                                                                                                                                                          |                                                                                                                                                                | <p><b>STATE STREET HOMES</b></p>                               |                                      |  |
| <p>CHECKED BY: NGB</p>                                                                                                                                                                                                                                                                                                        |                                                                                                                                                                | <p>1233 NW NORTHUP ST #125<br/>         PORTLAND, OR 97209</p> |                                      |  |
| <p>DATE: 5/30/2021</p>                                                                                                                                                                                                                                                                                                        |                                                                                                                                                                |                                                                |                                      |  |
| <p>REVISED:</p>                                                                                                                                                                                                                                                                                                               |                                                                                                                                                                |                                                                |                                      |  |
| <p>JOB NAME: STATE ST. HOMES</p>                                                                                                                                                                                                                                                                                              |                                                                                                                                                                |                                                                |                                      |  |
| <p>JOB NO.: 321013</p>                                                                                                                                                                                                                                                                                                        |                                                                                                                                                                |                                                                |                                      |  |
| <p>SHEET 1 of 3</p>                                                                                                                                                                                                                                                                                                           |                                                                                                                                                                |                                                                |                                      |  |

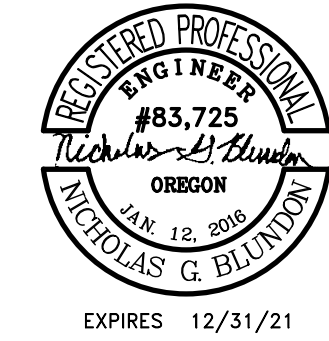
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# SITE PLAN

TAX LOT 200 OF SEC. 32BA T4S, R1E, CLACKAMAS COUNTY, WILLAMETTE MERIDIAN  
ADJACENT TO 285 S 3RD AVE, CANBY OR 97013  
ZONE: R-2 (HIGH DENSITY RESIDENTIAL)



|                           |              |
|---------------------------|--------------|
| DESIGNED BY: NGB          |              |
| DRAWN BY: SIE             |              |
| CHECKED BY: NGB           |              |
| DATE: 3/30/2021           |              |
| REVISED:                  |              |
| JOB NAME: STATE ST. HOMES |              |
| JOB No.: 321013           | SHEET 2 of 3 |



**Stuntzner**  
Engineering  
& Forestry, LLC

2318-B PACIFIC AVENUE  
FOREST GROVE, OREGON 97116

**Stuntzner Engineering  
& Forestry, LLC**

**ENGINEERING \* LAND SURVEYING \* FORESTRY  
PLANNING \* WATER RIGHTS**

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# SHEET 2 - SITE PLAN

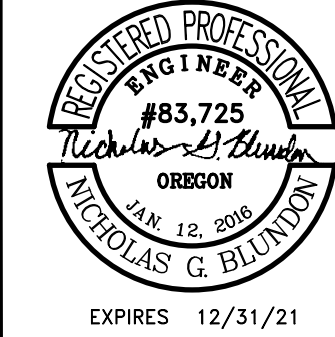
**STATE STREET HOMES**  
1233 NW NORTHUP ST #125  
PORTLAND, OR 97209

STUNTZNER ENGINEERING & FORESTRY MAKES NO REPRESENTATION AS TO THE EXISTENCE OR NON-EXISTENCE OF UTILITIES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH THE PROVISIONS OF ORS 757.542 TO 757.562 & 757.993. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE RESULTING FROM DISRUPTION OF SERVICE CAUSED BY CONSTRUCTION ACTIVITIES.

Site plan for a proposed multi-family dwelling development. The plan shows two lots: TL 100 (0.31 acres) and TL 200 (0.44 acres). It includes existing and proposed buildings, catch basins, flow lines, and property boundaries. Key features include a finished grade, a proposed catch basin, a flow line, and a proposed multi-family dwelling. The plan also shows a street layout with S Grant St. and SW 3rd Ave. and various elevation points and flow line elevations.

Key features and labels on the plan:

- TL 100**: 0.31 ACRES (ADJUSTED)
- TL 200**: 0.44 ACRES (ADJUSTED)
- EXISTING DWELLING**: Located on TL 100.
- PROPOSED MULTI-FAMILY DWELLING**: Located on TL 200.
- PROPOSED CATCH BASIN**: Located on TL 200.
- FINISHED GRADE**: ELEV. 138.03
- FLOW LINE**: ELEV. 161.18, 161.21, 161.54, 161.59, 161.83, 162.13, 162.37, 162.55, 162.71, 162.87, 163.03, 163.19, 163.35, 163.51, 163.67, 163.83, 163.99, 164.15, 164.31, 164.47, 164.63, 164.79, 164.95, 165.11, 165.27, 165.43, 165.59, 165.75, 165.91, 166.07, 166.23, 166.39, 166.55, 166.71, 166.87, 167.03, 167.19, 167.35, 167.51, 167.67, 167.83, 167.99, 168.15, 168.31, 168.47, 168.63, 168.79, 168.95, 169.11, 169.27, 169.43, 169.59, 169.75, 169.91, 170.07, 170.23, 170.39, 170.55, 170.71, 170.87, 171.03, 171.19, 171.35, 171.51, 171.67, 171.83, 171.99, 172.15, 172.31, 172.47, 172.63, 172.79, 172.95, 173.11, 173.27, 173.43, 173.59, 173.75, 173.91, 174.07, 174.23, 174.39, 174.55, 174.71, 174.87, 175.03, 175.19, 175.35, 175.51, 175.67, 175.83, 175.99, 176.15, 176.31, 176.47, 176.63, 176.79, 176.95, 177.11, 177.27, 177.43, 177.59, 177.75, 177.91, 178.07, 178.23, 178.39, 178.55, 178.71, 178.87, 179.03, 179.19, 179.35, 179.51, 179.67, 179.83, 179.99, 180.15, 180.31, 180.47, 180.63, 180.79, 180.95, 181.11, 181.27, 181.43, 181.59, 181.75, 181.91, 182.07, 182.23, 182.39, 182.55, 182.71, 182.87, 183.03, 183.19, 183.35, 183.51, 183.67, 183.83, 183.99, 184.15, 184.31, 184.47, 184.63, 184.79, 184.95, 185.11, 185.27, 185.43, 185.59, 185.75, 185.91, 186.07, 186.23, 186.39, 186.55, 186.71, 186.87, 187.03, 187.19, 187.35, 187.51, 187.67, 187.83, 187.99, 188.15, 188.31, 188.47, 188.63, 188.79, 188.95, 189.11, 189.27, 189.43, 189.59, 189.75, 189.91, 190.07, 190.23, 190.39, 190.55, 190.71, 190.87, 191.03, 191.19, 191.35, 191.51, 191.67, 191.83, 191.99, 192.15, 192.31, 192.47, 192.63, 192.79, 192.95, 193.11, 193.27, 193.43, 193.59, 193.75, 193.91, 194.07, 194.23, 194.39, 194.55, 194.71, 194.87, 195.03, 195.19, 195.35, 195.51, 195.67, 195.83, 195.99, 196.15, 196.31, 196.47, 196.63, 196.79, 196.95, 197.11, 197.27, 197.43, 197.59, 197.75, 197.91, 198.07, 198.23, 198.39, 198.55, 198.71, 198.87, 199.03, 199.19, 199.35, 199.51, 199.67, 199.83, 199.99, 200.15, 200.31, 200.47, 200.63, 200.79, 200.95, 201.11, 201.27, 201.43, 201.59, 201.75, 201.91, 202.07, 202.23, 202.39, 202.55, 202.71, 202.87, 203.03, 203.19, 203.35, 203.51, 203.67, 203.83, 203.99, 204.15, 204.31, 204.47, 204.63, 204.79, 204.95, 205.11, 205.27, 205.43, 205.59, 205.75, 205.91, 206.07, 206.23, 206.39, 206.55, 206.71, 206.87, 207.03, 207.19, 207.35, 207.51, 207.67, 207.83, 207.99, 208.15, 208.31, 208.47, 208.63, 208.79, 208.95, 209.11, 209.27, 209.43, 209.59, 209.75, 209.91, 210.07, 210.23, 210.39, 210.55, 210.71, 210.87, 211.03, 211.19, 211.35, 211.51, 211.67, 211.83, 211.99, 212.15, 212.31, 212.47, 212.63, 212.79, 212.95, 213.11, 213.27, 213.43, 213.59, 213.75, 213.91, 214.07, 214.23, 214.39, 214.55, 214.71, 214.87, 215.03, 215.19, 215.35, 215.51, 215.67, 215.83, 215.99, 216.15, 216.31, 216.47, 216.63, 216.79, 216.95, 217.11, 217.27, 217.43, 217.59, 217.75, 217.91, 218.07, 218.23, 218.39, 218.55, 218.71, 218.87, 219.03, 219.19, 219.35, 219.51, 219.67, 219.83, 219.99, 220.15, 220.31, 220.47, 220.63, 220.79, 220.95, 221.11, 221.27, 221.43, 221.59, 221.75, 221.91, 222.07, 222.23, 222.39, 222.55, 222.71, 222.87, 223.03, 223.19, 223.35, 223.51, 223.67, 223.83, 223.99, 224.15, 224.31, 224.47, 224.63, 224.79, 224.95, 225.11, 225.27, 225.43, 225.59, 225.75, 225.91, 226.07, 226.23, 226.39, 226.55, 226.71, 226.87, 227.03, 227.19, 227.35, 227.51, 227.67, 227.83, 227.99, 228.15, 228.31, 228.47, 228.63, 228.79, 228.95, 229.11, 229.27, 229.43, 229.59, 229.75, 229.91, 230.07, 230.23, 230.39, 230.55, 230.71, 230.87, 231.03, 231.19, 231.35, 231.51, 231.67, 231.83, 231.99, 232.15, 232.31, 232.47, 232.63, 232.79, 232.95, 233.11, 233.27, 233.43, 233.59, 233.75, 233.91, 234.07, 234.23, 234.39, 234.55, 234.71, 234.87, 2

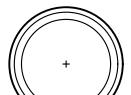
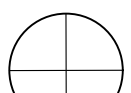


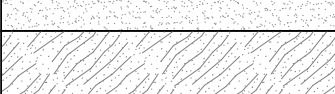
**Stuntzner Engineering & Forestry, LLC**  
  
 • COOS BAY • DALLAS •  
 • FOREST GROVE • JUNCTION CITY •  
 ENGINEERING • LAND SURVEYING • FORESTRY  
 PLANNING • WATER RIGHTS  
 TEL: (503) 357-5717  
 FAX: (503) 357-5698  
 2318-B PACIFIC AVENUE  
 FOREST GROVE, OREGON 97116

| REV | DATE | DESCRIPTION | BY |
|-----|------|-------------|----|
|-----|------|-------------|----|

**STATE STREET HOMES**  
1233 NW NORTHUP ST #125  
PORTLAND, OR 97209

Preliminary Plant Legend

| TREES                                                                             | BOTANICAL / COMMON NAME                                               |
|-----------------------------------------------------------------------------------|-----------------------------------------------------------------------|
|  | Chamaecyparis nootkatensis "Jubilee" / Jubilee Weeping Nootka Cypress |
|  | Fraxinus oxycarpa "Raywood" TM / Raywood Ash                          |
|  | Tilia tomentosa "Sterling" / Sterling Silver Linden                   |
|  | Zelkova serrata "Green Vase" / Green Vase Sawleaf Zelkova             |
| SHRUBS                                                                            | BOTANICAL / COMMON NAME                                               |
|  | Abelia x grandiflora "Kaleidoscope" / Glossy Abelia                   |
|  | Caryopteris x clandonensis "Blue Mist" / Blue Mist Shrub              |
|  | Cistus x purpureus / Orchid Rockrose                                  |
|  | Euonymus japonicus / Japanese Spindle                                 |
|  | Euonymus japonicus "Green Spire" / Green Spire Euonymus               |
|  | Hibiscus syriacus "Lil Kim" / Rose of Sharon                          |
|  | Ilex crenata "Sky Pencil" / Sky Pencil Japanese Holly                 |
|  | Juniperus scopulorum "Skyrocket" / Skyrocket Juniper                  |
|  | Nandina domestica "Tuscan Flame" / Tuscan Flame Heavenly Bamboo       |
|  | Potentilla fruticosa "Tangerine" / Tangerine Potentilla               |
|  | Sarcococca confusa / Sweetbox                                         |
|  | Spiraea japonica "Goldflame" / Spirea                                 |

| GRASSES / PERENNIALS                                                                | BOTANICAL / COMMON NAME                                           |
|-------------------------------------------------------------------------------------|-------------------------------------------------------------------|
|  | Festuca ovina glauca "Elijah Blue" / Elijah Blue Fescue           |
|  | Heemerocallis Spp. / Daylily                                      |
| GROUND COVERS                                                                       | BOTANICAL / COMMON NAME                                           |
|   | Arctostaphylos uva-ursi "Massachusetts" / Massachusetts Manzanita |
|   | Fragaria vesca / Woodland Strawberry                              |
|   | Genista lydia / Broom                                             |
|   | ProTime 769 / R&R Eco Turf Mix                                    |
|   | Rhus aromatica "Gro-Low" / Gro-Low Fragrant Sumac                 |

Landscape Requirements:

- REQUIRED TREES  
1 TREE PER 500 SF LANDSCAPE  
6099.94 SF LANDSCAPE = 13 TREES
- PARKING LOT TREES  
3 TREES WITHIN 10' OF PARKING AREAS
- SCREENING  
SHADE TREES AND FENCE
- DROUGHT TOLERANT PLANTS  
MORE THAN 75%
- LAWN AREA  
1216 SF = 20%
- STORMWATER  
AREA TO BE DETERMINED
- General Notes:
- DRAWINGS NOT FOR CONSTRUCTION.
  - SEE ARCHITECTURAL DRAWINGS FOR SITE PLAN, AREA CALCULATIONS, AND COMMON AREAS.
  - SEE CIVIL DRAWINGS FOR GRADING PLAN AND STORMWATER INFORMATION.
  - PLANTS SELECTED FOR DROUGHT TOLERANCE.
  - PLANTS TO BE SIZED ACCORDING TO CANBY REQUIREMENTS FOR GENERAL PLANTING PLAN AND STORMWATER FACILITIES.
  - STORMWATER FACILITY AREA TO BE FINALIZED.
  - LANDSCAPE TO BE IRRIGATED BY AN AUTOMATIC UNDERGROUND SYSTEM.

Laurus  
Designs, LLC



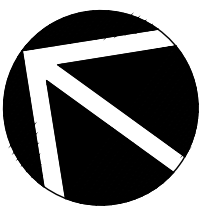
1012 Pine Street  
Silverton, Oregon  
503.784.6494

Canby  
Apartments

SW 3rd Avenue  
Canby, Oregon



PRELIMINARY  
PLANTING  
PLAN



SCALE: 1"=20'-0"  
0' 10' 20' 40'  
SCALE

March 29th, 2021

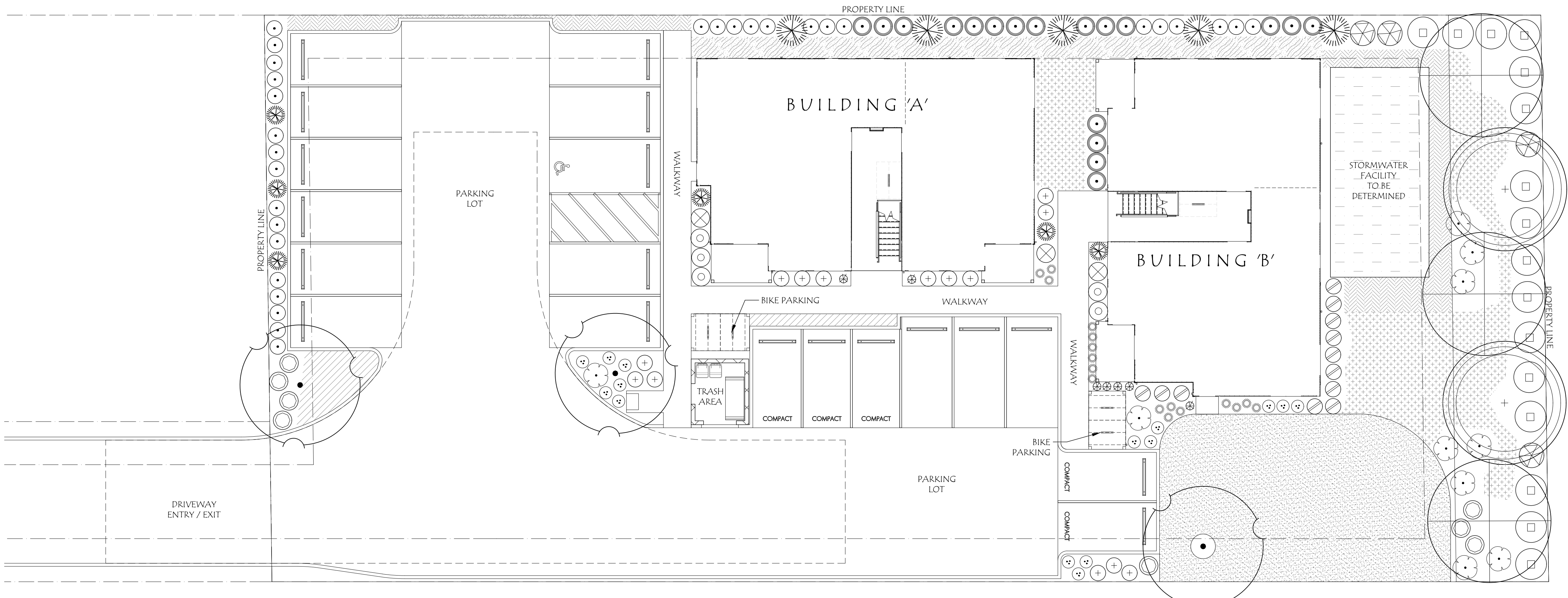
REVISIONS

| # | DATE | NOTES | INITIALS |
|---|------|-------|----------|
|   |      |       |          |
|   |      |       |          |
|   |      |       |          |
|   |      |       |          |

L1.1

SHEET 1 OF 1

PROJECT #: 1345R



SITE PLAN NOTES:

1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVES. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES

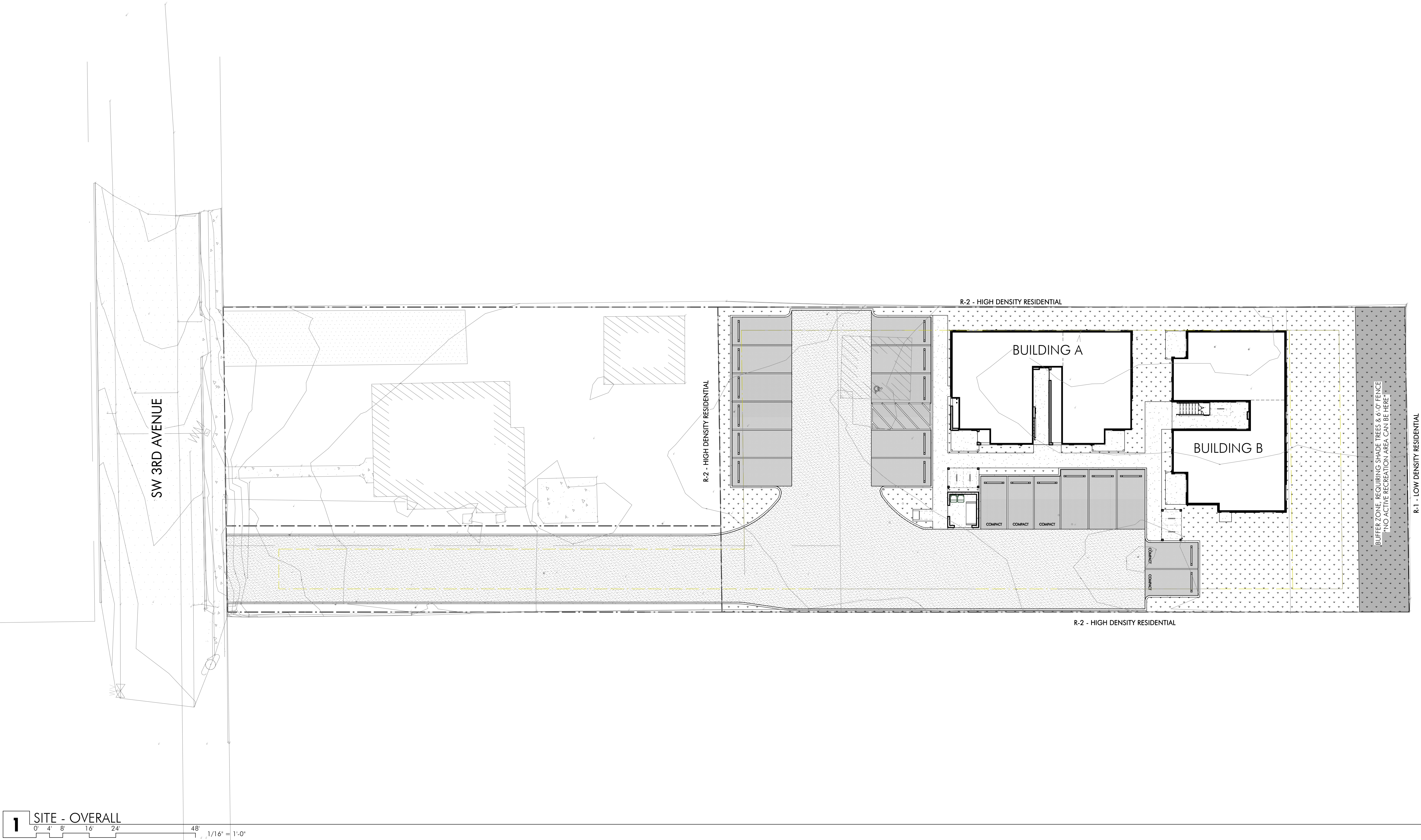
2. PROVIDE CONSTRUCTION FENCING AS REQUIRED TO SECURE SITE AND BUILDING DURING CONSTRUCTION

3. EXTREME CARE SHOULD BE TAKEN TO PRESERVE EXISTING ROOTS OF TREES TO REMAIN
4. REFER TO CIVIL DRAWINGS FOR GRADING. SITE IS REQUIRED TO MEET THE LAWS OF FHA AND ADA. ACCESSIBLE ROUTES SHALL NOT EXCEED 5% (1 IN 20) OR CROSS SLOPES SHALL NOT EXCEED 2% (1 IN 50). ALL AT GRADE SIDEWALKS ARE ACCESSIBLE ROUTES

5. JOINTS IN CONCRETE WALKS NOTED AS E.J. ARE TO BE CONSTRUCTED AS EXPANSION JOINTS. ALL OTHER JOINTS SHOWN, TO BE TOOLED CONTROL JOINTS, SEE CIVIL

6. SEE LANDSCAPE DRAWINGS FOR LANDSCAPE AND IRRIGATION ELEMENTS

7. SEE ELECTRICAL DRAWINGS FOR SITE LIGHTING



STUDIO



275 COURT ST. NE  
SALEM, OR 97301-3442  
P: 503.390.6500  
www.studio3architecture.com



IN THE EVENT CONFLICTS ARE DISCOVERED BETWEEN THE ORIGINAL SIGNED AND SEALED DOCUMENTS PREPARED BY THE ARCHITECTS AND/OR THEIR CONSULTANTS, AND ANY COPY OF THE DOCUMENTS TRANSMITTED BY MAIL, FAX, ELECTRONICALLY OR OTHERWISE, THE ORIGINAL SIGNED AND SEALED DOCUMENTS SHALL GOVERN.

PROJECT # 2020-012  
DATE: 02/19/2021

REVISIONS

NEW MULTI-FAMILY DEVELOPMENT  
**3RD AVENUE APARTMENTS**  
CANBY, OREGON

SHEET:  
**A1.01**  
SITE PLAN - OVERALL



SITE PLAN NOTES:

1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVES. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES

2. PROVIDE CONSTRUCTION FENCING AS REQUIRED TO SECURE SITE AND BUILDING DURING CONSTRUCTION

3. EXTREME CARE SHOULD BE TAKEN TO PRESERVE EXISTING ROOTS OF TREES TO REMAIN
4. REFER TO CIVIL DRAWINGS FOR GRADING. SITE IS REQUIRED TO MEET THE LAWS OF FHA AND ADA. ACCESSIBLE ROUTES SHALL NOT EXCEED 5% (1 IN 20) OR CROSS SLOPES SHALL NOT EXCEED 2% (1 IN 50). ALL AT GRADE SIDEWALKS ARE ACCESSIBLE ROUTES

5. JOINTS IN CONCRETE WALKS NOTED AS E.J. ARE TO BE CONSTRUCTED AS EXPANSION JOINTS. ALL OTHER JOINTS SHOWN, TO BE TOOLED CONTROL JOINTS, SEE CIVIL

6. SEE LANDSCAPE DRAWINGS FOR LANDSCAPE AND IRRIGATION ELEMENTS

7. SEE ELECTRICAL DRAWINGS FOR SITE LIGHTING

SITE CALCULATIONS AND LEGEND:

| SITE ELEMENT DESCRIPTION: | LEGEND: | AREA: (sf)   | PERCENTAGE: (%) |
|---------------------------|---------|--------------|-----------------|
| BUILDINGS:                |         | 3,529.50 sf  | 18.52 %         |
| BUILDINGS OVERHANG ABOVE: |         |              |                 |
| LANDSCAPING:              |         | 6,099.94 sf  | 32.01 %         |
| ASPHALT PAVING:           |         | 4,804.11 sf  | 25.21 %         |
| POROUS ASPHALT PAVING:    |         | 2,973.68 sf  | 15.61 %         |
| ACCESSORY STRUCTURES      |         | 213.06 sf    | 1.12 %          |
| CONCRETE SIDEWALKS:       |         | 1026.37 sf   | 5.39 %          |
| CONCRETE PAVING & CURBS:  |         | 257.41 sf    | 1.35 %          |
| CONCRETE PATIOS           |         | 151.67 sf    | 0.80 %          |
| TOTALS:                   |         | 19,055.74 sf | 100.0 %         |

SITE DEVELOPMENT:

SITE AREA: 19,055.74 sf = 0.4375 ac  
ZONING: R2 HIGH DENSITY RESIDENTIAL  
DENSITY: MIN. 14 UNITS PER ACRE = 5 UNITS  
12 UNITS PROVIDED  
SETBACKS: STREET YARD - 20'-0"  
REAR YARD - 20'-0" (15'-0" BUFFER)  
INTERIOR YARD - 7'-0"  
BUILDING HEIGHT: MAX = 35'-0"  
ADJACENT TO AN R-1 ZONE = 1'-0"  
IN HEIGHT FOR EVERY 1'-0"  
IN SETBACK  
RECREATION AREA: >10 UNITS REQUIRES 150 sf OF REACRATIONAL AREA  
12 UNITS PROVIDED,  
REQUIRING 1,800 sf OF OPEN AREA, MET WITH PATIOS & LANDSCAPING  
BUILDING AREAS:  
• BLDG A: 5,294.25 sf  
• BLDG B: 5,294.25 sf  
OVERALL = 10,588.5 sf  
PARKING:  
• RESIDENTIAL USES:  
1 SPACE PER 1 BD UNIT  
2 SPACES PER 2 BD UNIT  
1 VISITOR PER 5 UNITS  
= 21 SPACES (THIS MAY BE REDUCED UP TO 10% PER 16.10.030.H.1)  
19 PROVIDED  
26% COMPACT  
BIKE PARKING:  
• RESIDENTIAL USES:  
1 SPACE PER UNIT  
= 12 SPACES  
12 PROVIDED

SITE PLAN LEGEND:

- PROPERTY LINE
- SETBACK

SITE PLAN NOTES:

- 1 SIDE YARD

2 REAR YARD

3 PEDESTAL MOUNTED MAILBOX CLUSTER

4 RISER ROOM

5 EXTERIOR TRASH ENCLOSURE

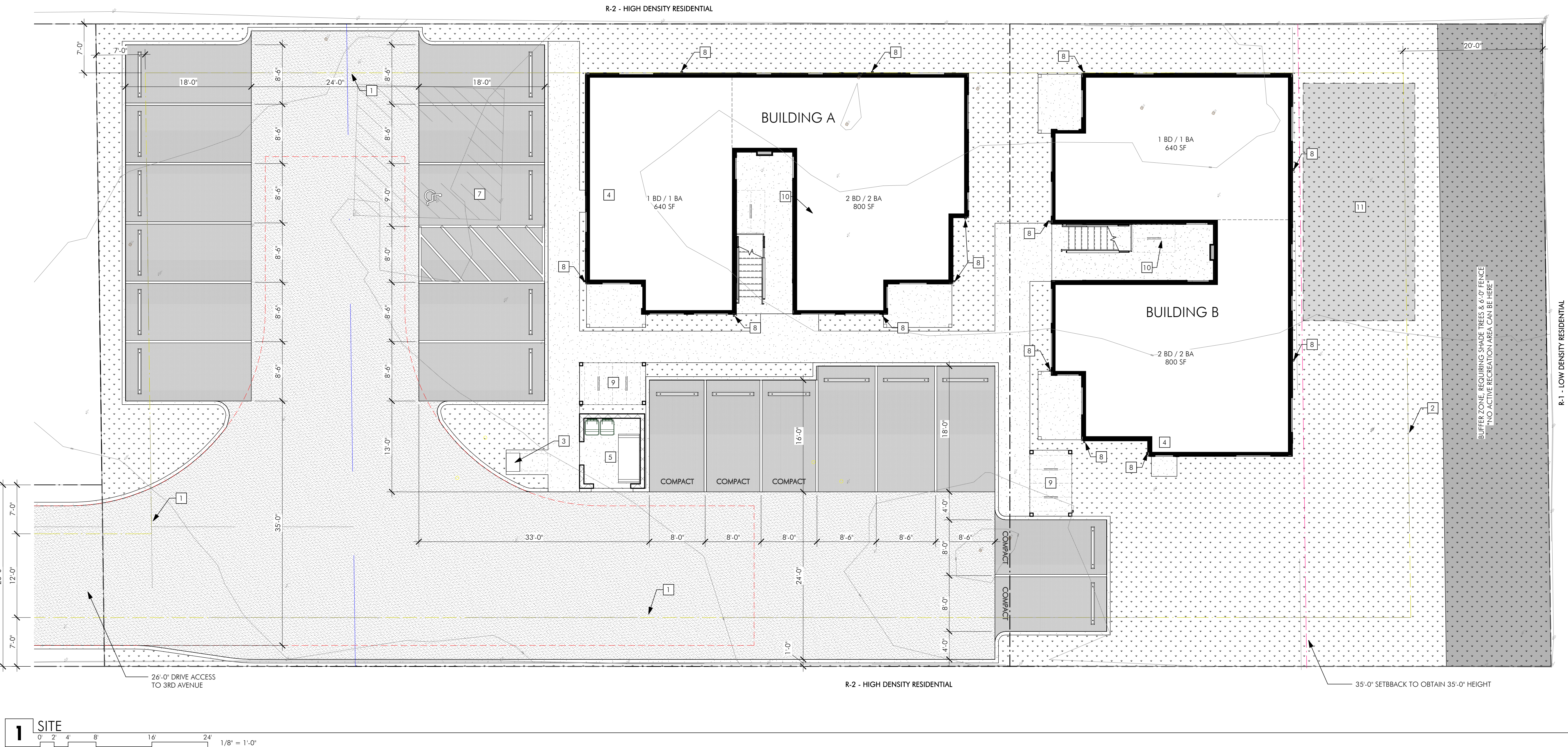
6 4" Ø PERFORATED FOOTING DRAIN SURROUNDED BY DRAIN ROCK AROUND ENTIRE PERIMETER OF BUILDING

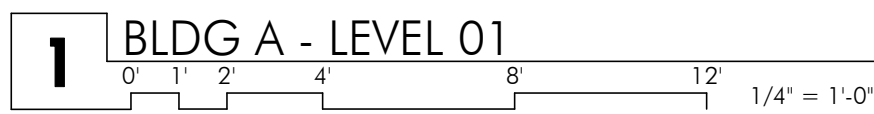
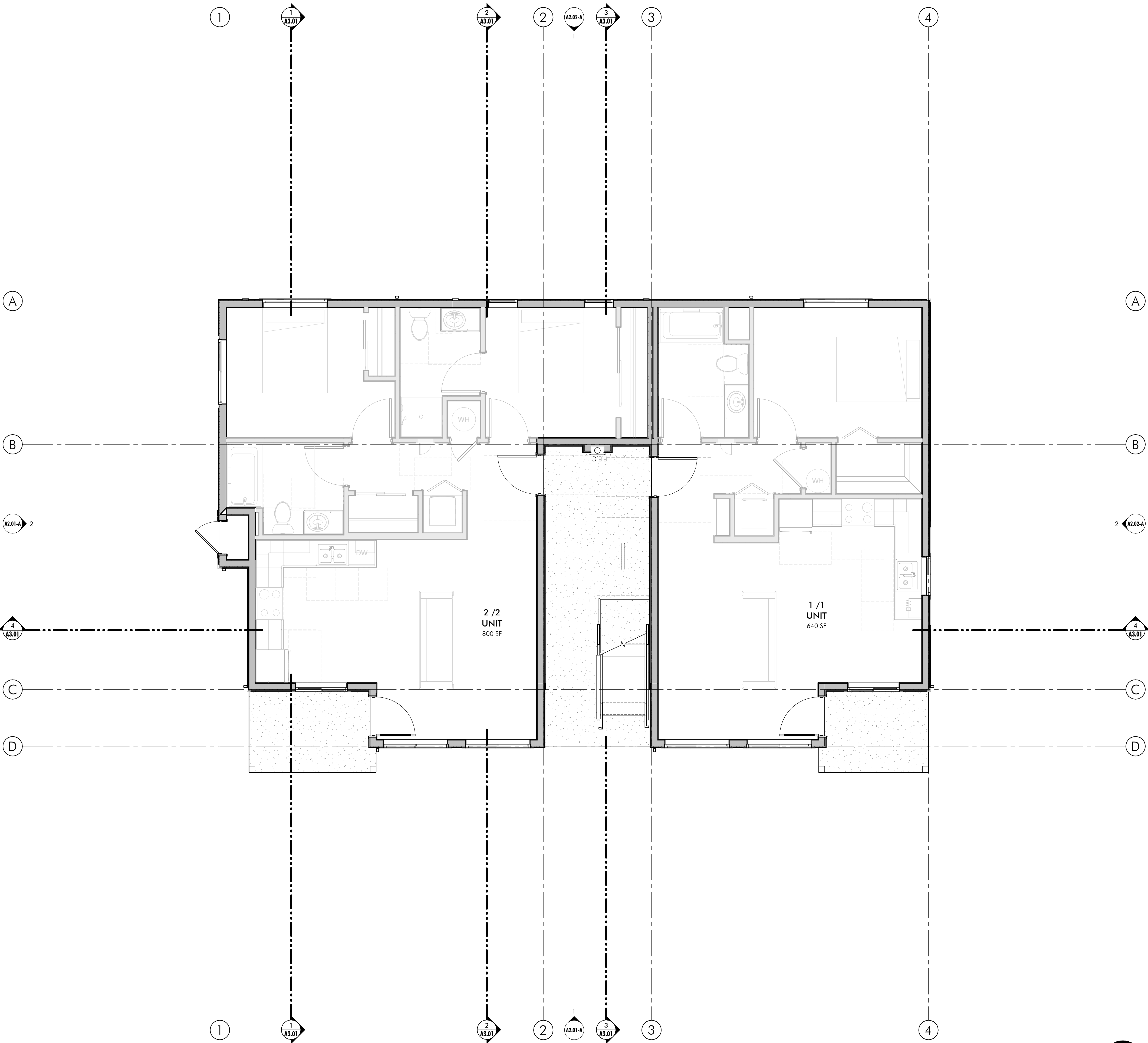
7 VAN ACCESSIBLE PARKING, PROVIDE SIGNAGE, TYP.
- 8 PRE-FINISHED METAL DOWNSPOUT

9 BIKE CANOPY

10 BIKE RACK

11 STORMWATER RETENTION, ~544 SF. SEE CIVIL





GENERAL PLAN NOTES:

1. GENERAL NOTES APPLY TO ALL DRAWINGS.

2. DRAWINGS ARE DIAGRAMMATIC ONLY AND SHOULD NOT BE SCALED. NOTIFY ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY UPON DISCOVERY. OBTAIN CLARIFICATION OF DIMENSIONS OR DISCREPANCIES PRIOR TO PROCEEDING WITH AREA OF REQUIRED WORK.

3. DIMENSIONS ARE TO FACE OF FRAMING. DIMENSIONS STATED AS CLEAR ARE TO FACE OF FINISH.

4. SEE WALL SECTIONS FOR DESCRIPTION OF EXTERIOR WALL MATERIALS.

5. ALL INTERIOR PARTITIONS TO RECEIVE GLASS FIBER INSULATION, FULL HEIGHT.

6. COORDINATE LOCATION OF RECESSED OR SEMI-RECESSED ITEMS TO AVOID BACK TO BACK INSTALLATION AND TO REDUCE NOISE TRANSFER THROUGH PARTITIONS.

7. INSTALL WALL BACKING FOR ALL WALL MOUNTED ITEMS, INCLUDING BUT NOT LIMITED TO THE FOLLOWING: DOOR STOPS, FIXTURES, WALL CABINETS, SHELVING, COUNTERS, TOILET ACCESSORIES, SECURITY EQUIPMENT, TACK BOARDS AND MARKER BOARDS, HAND RAILS AND WINDOW COVERING TRACKS.

8. SEPARATE AREAS IN WHICH WORK IS BEING CONDUCTED FROM OTHER AREAS THAT ARE STILL OCCUPIED.

A. PROVIDE, ERECT, AND MAINTAIN TEMPORARY DUSTPROOF PARTITIONS OF SUITABLE CONSTRUCTION IN LOCATIONS INDICATED ON DRAWINGS OR AS DIRECTED.
9. PROTECT EXISTING WORK TO REMAIN.

A. PREVENT MOVEMENT OF STRUCTURE; PROVIDE SHORING AND BRACING IF NECESSARY.

B. PERFORM CUTTING TO ACCOMPLISH REMOVALS NEATLY AND AS SPECIFIED FOR CUTTING NEW WORK.

C. REPAIR ADJACENT CONSTRUCTION AND FINISHES DAMAGED DURING REMOVAL WORK.

D. PATCH AS SPECIFIED FOR PATCHING NEW WORK.

10. REMOVE DEBRIS, JUNK, AND TRASH FROM SITE.

11. REMOVE FROM SITE ALL MATERIALS NOT TO BE REUSED ON SITE; DO NOT BURN OR BURY.

12. LEAVE SITE IN CLEAN CONDITION, READY FOR SUBSEQUENT WORK.

13. CLEAN UP SPILLAGE AND WIND-BLOWN DEBRIS FROM PUBLIC AND PRIVATE LANDS.

14. WORK SHOWN ON THESE DRAWINGS IS TO BE SUPPLIED, FURNISHED, CONSTRUCTED, INSTALLED ALL AS PER THE GENERAL CONDITIONS AND THE SPECIFICATIONS: EXCEPTIONS AS DESCRIBED BY THE FOLLOWING ABBREVIATIONS:

A. CFCI - CONTRACTOR FURNISHED - CONTRACTOR INSTALLED.

B. OFCI - OWNER FURNISHED - CONTRACTOR INSTALLED.

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D. NIC OR N.I.C. - NOT IN CONTRACT OR NOT A PART OF THIS CONTRACT.

FLOOR PLAN NOTES:

- 1 SAMPLE PLAN NOTE

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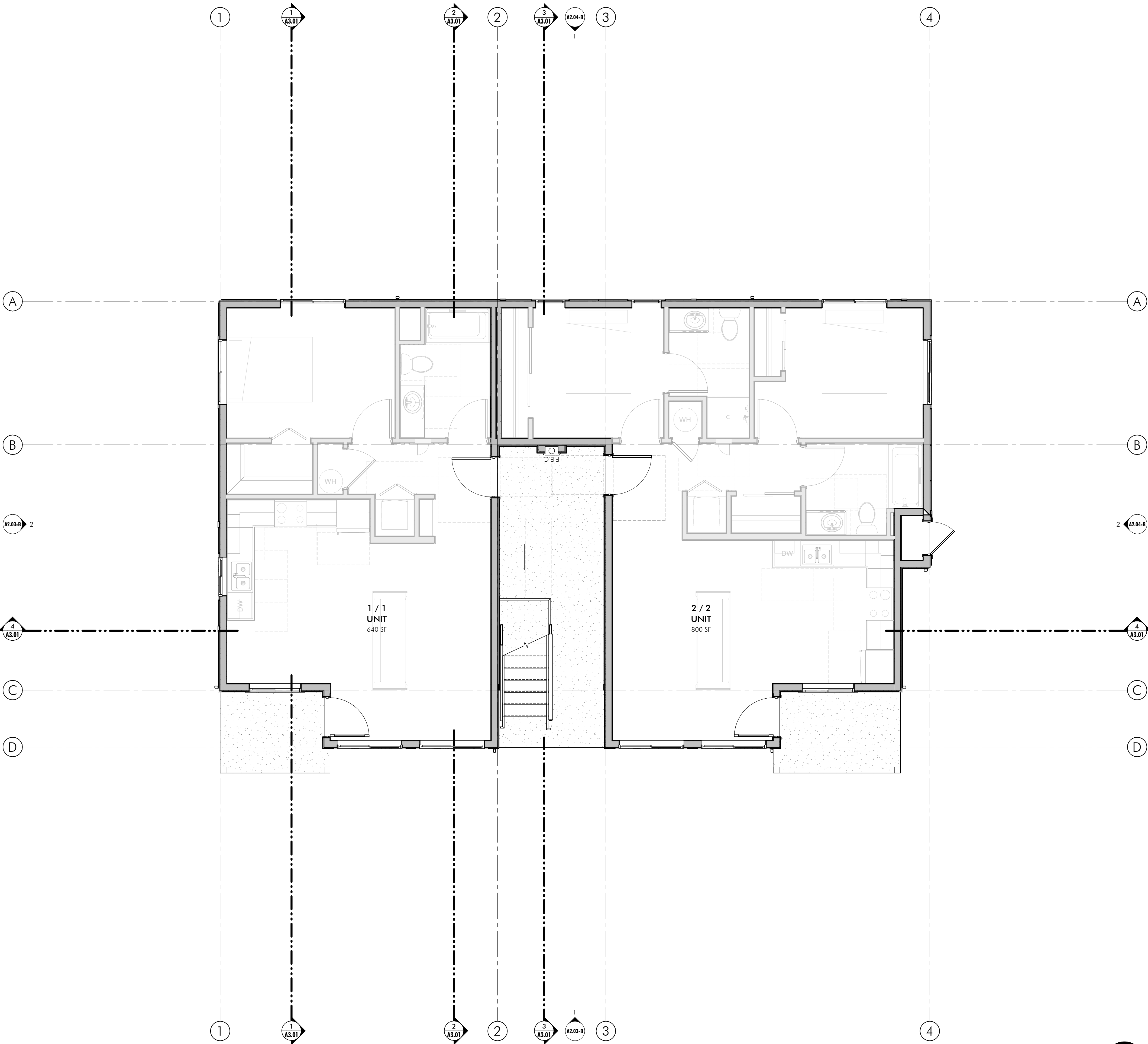
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PROJECT # 2021-012  
DATE: 02/19/2021

REVISIONS

NEW MULTI-FAMILY DEVELOPMENT  
**3RD AVENUE APARTMENTS**  
CANBY, OREGON

SHEET:  
**A1.21-A**  
BLDG A - FLOOR PLAN  
- LEVEL 01



**1** BLDG B - LEVEL 01  
0' 1' 2' 4' 8' 12' 1/4" = 1'-0"

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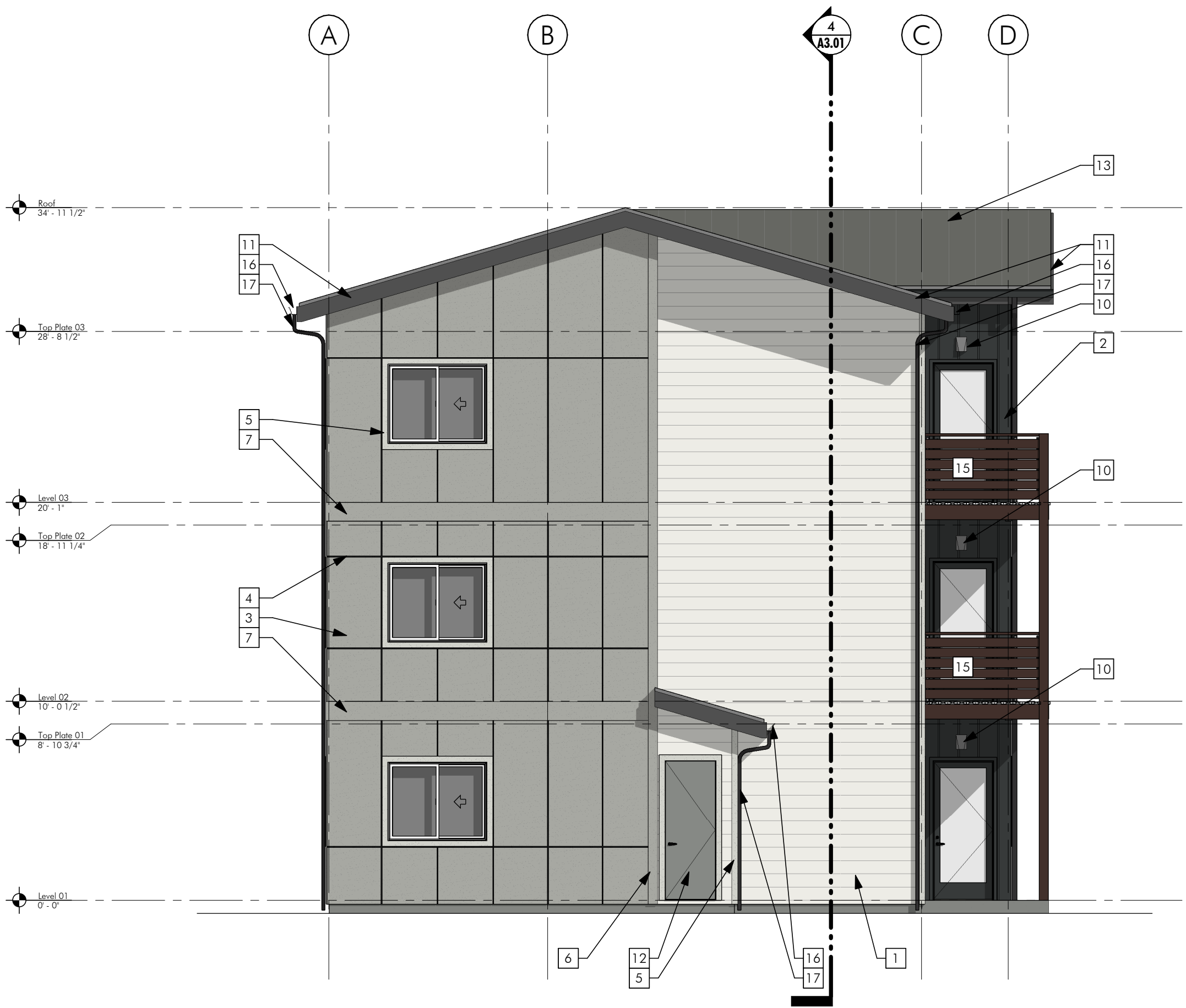
SHEET:

**A1.21-B**

BLDG B - FLOOR PLAN  
- LEVEL 01



1 BLDG A - WEST ELEVATION



2 BLDG A - NORTH ELEVATION

ELEVATION KEYNOTES:

- 1 HORIZONTAL LAPPED FIBER CEMENT SIDING, 8" EXPOSURE, PRIMED AND PAINTED, COLOR: SILVERPOINTE, SW7653
- 2 VERTICAL FIBER CEMENT BOARD & BATT SIDING, PRIMED AND PAINTED, COLOR: GREENBLACK, SW6994
- 3 FIBER CEMENT PANEL SIDING, PRIMED AND PAINTED, COLOR: ATTITUDE GRAY, SW7060
- 4 1/2" REVEAL, TYP.
- 5 3 1/2" TRIM BOARD AT ALL LAPPED SIDING EXTERIOR CORNERS AND AROUND ALL OPENINGS, PRIMED AND PAINTED, COLOR: SILVERPOINTE, SW7653
- 6 5 1/2" TRIM BOARD, PRIMED AND PAINTED, COLOR: GREENBLACK, SW7060
- 7 2" x 12" TRIM BOARD, PRIMED AND PAINTED, COLOR: ATTITUDE GRAY, SW7060
- 8 2" x 12" TRIM BOARD, PRIMED AND PAINTED, COLOR: GREENBLACK, SW6994
- 9 STAIR GUARDRAIL, SEE DETAIL -/-
- 10 WALL PACK LIGHT, SEE LIGHT SCHEDULE ON A6.01
- 11 2x10 WOOD FASCIA BOARD, PRIMED AND PAINTED, COLOR: GREENBLACK, SW6994
- 12 DOOR TO RISER ROOM, PROVIDE EXTERIOR SIGNAGE MOUNTED ADJACENT TO DOOR
- 13 12" STANDING SEAM METAL ROOF, BASIS OF DESIGN: AEP SPAN, COLOR: MIDNIGHT BRONZE
- 14 2x6 T&G WOOD SIDING
- 15 WOOD BALCONY. SEE DETAIL -/-
- 16 PREFINISHED METAL GUTTER, COLOR: BRONZE
- 17 PREFINISHED METAL DOWNSPOUT, COLOR: BRONZE
- 18 BUILDING ADDRESS NUMBER. NUMBERS SHALL CONTRAST WITH BACKGROUND AND BE A MINIMUM 4" IN HEIGHT AND A MINIMUM STROKE WIDTH OF 0.5 INCHES

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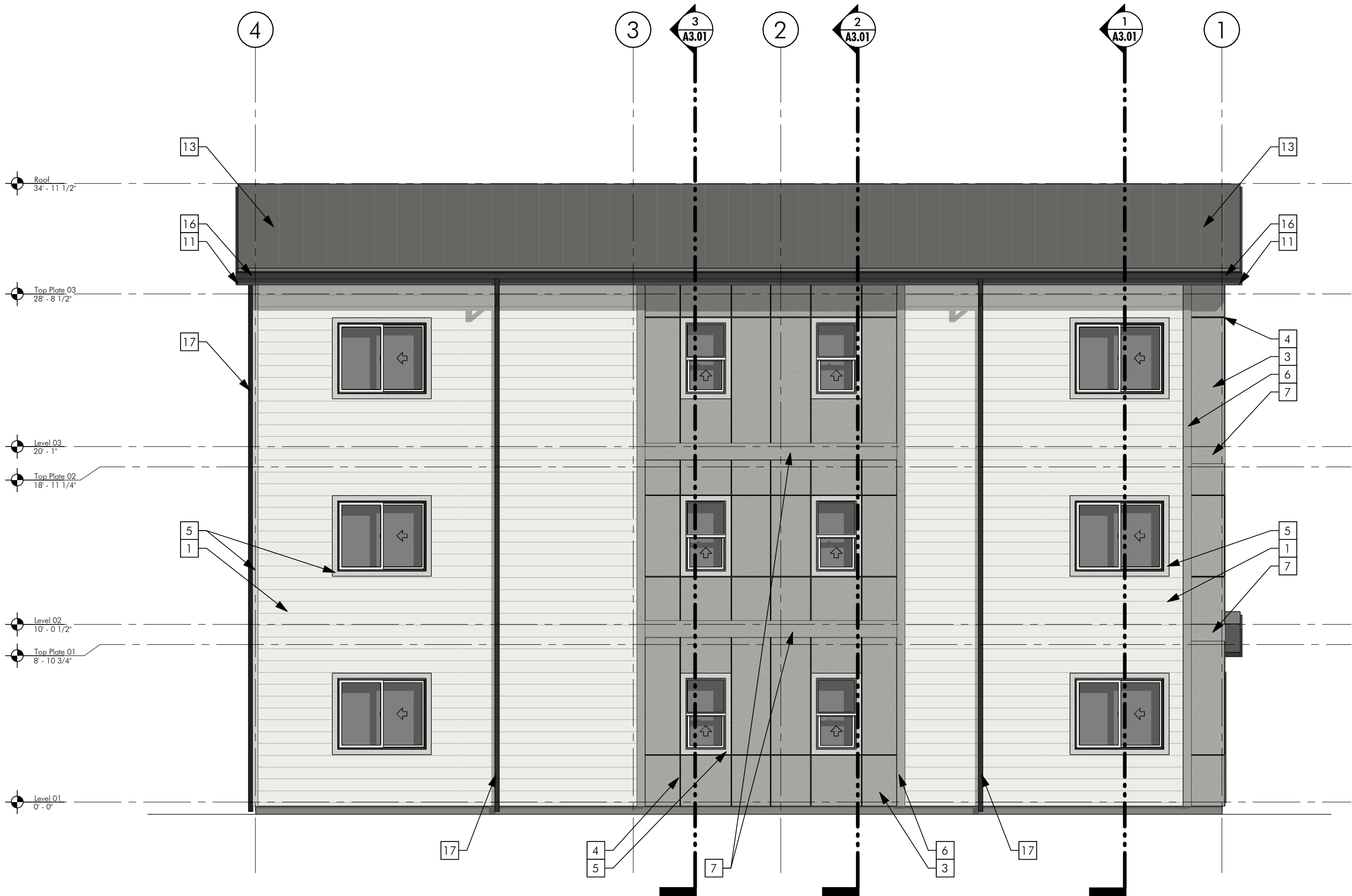
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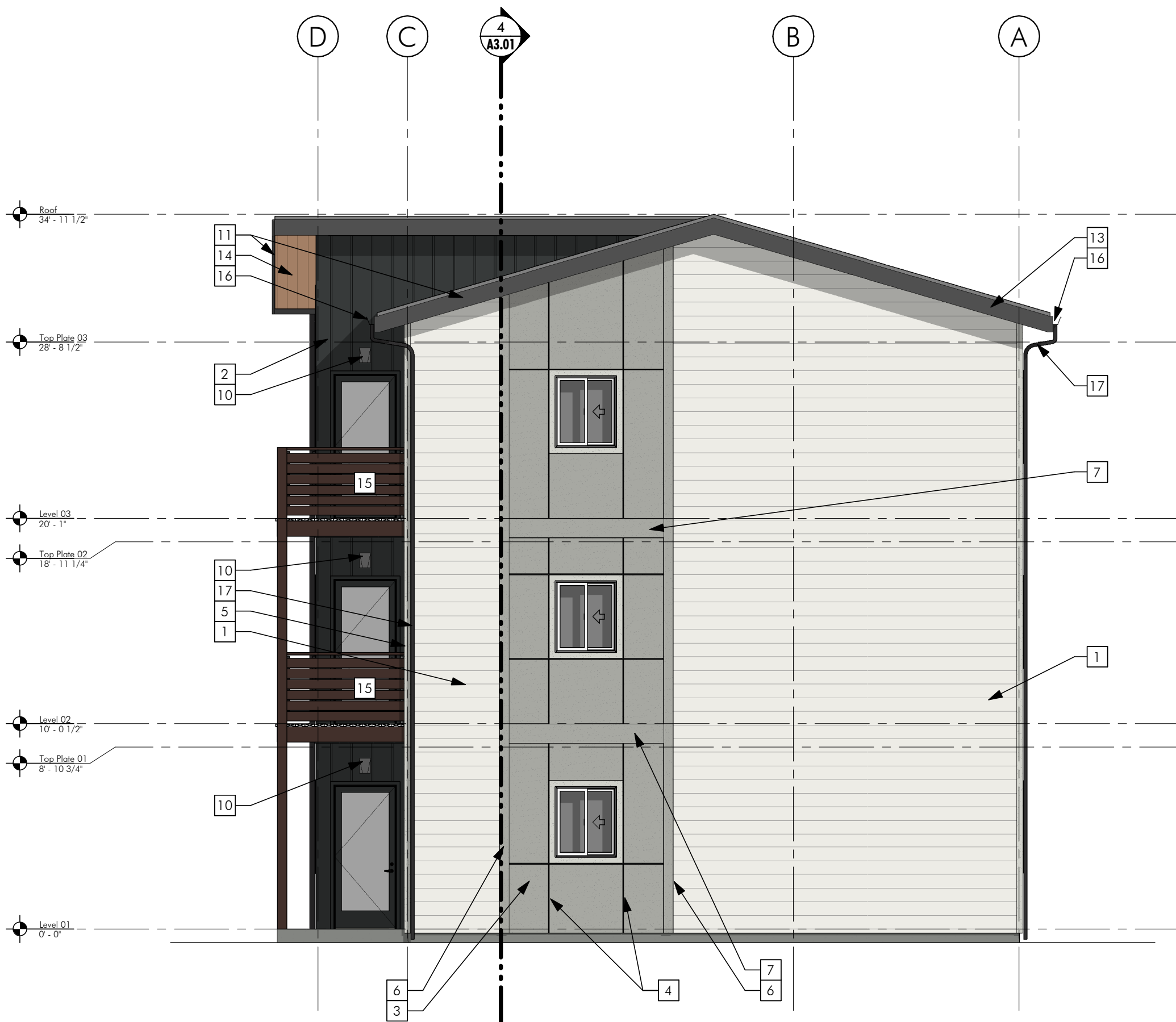
NEW MULTI-FAMILY DEVELOPMENT  
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SHEET:  
A2.01-A

BLDG A - ELEVATIONS



1 BLDG A - EAST ELEVATION

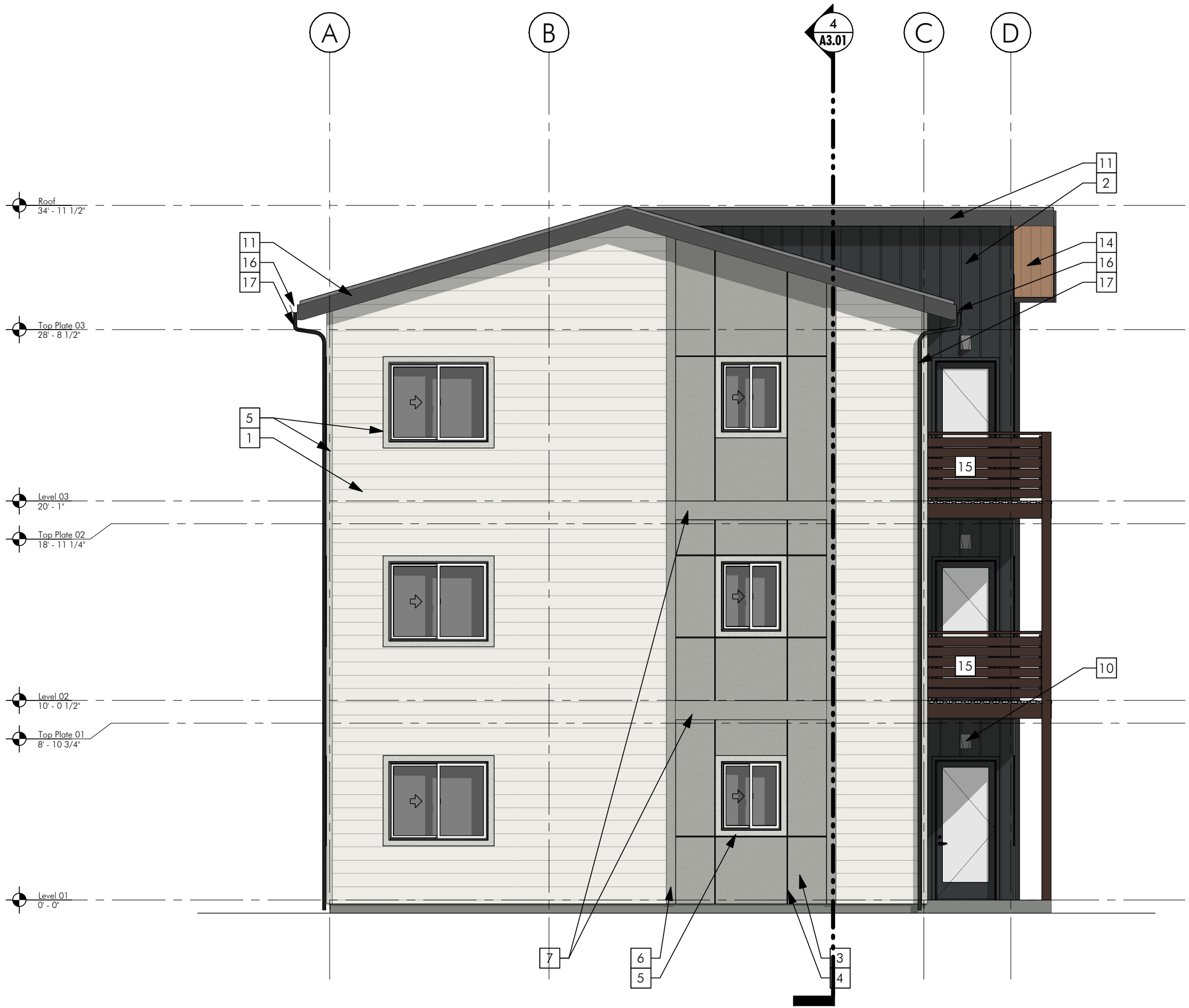


2 BLDG A - SOUTH ELEVATION

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  - 11 2x10 WOOD FASCIA BOARD, PRIMED AND PAINTED, COLOR: GREENBLACK, SW6994
  - 12 DOOR TO RISER ROOM, PROVIDE EXTERIOR SIGNAGE MOUNTED ADJACENT TO DOOR
  - 13 12" STANDING SEAM METAL ROOF, BASIS OF DESIGN: AEP SPAN, COLOR: MIDNIGHT BRONZE
  - 14 2x6 T&G WOOD SIDING
  - 15 WOOD BALCONY. SEE DETAIL -/ ---
  - 16 PREFINISHED METAL GUTTER, COLOR: BRONZE
  - 17 PREFINISHED METAL DOWNSPOUT, COLOR: BRONZE
  - 18 BUILDING ADDRESS NUMBER. NUMBERS SHALL CONTRAST WITH BACKGROUND AND BE A MINIMUM 4" IN HEIGHT AND A MINIMUM STROKE WIDTH OF 0.5 INCHES



**1** BLDG B - NORTH ELEVATION  
0' 2' 4' 6' 8' 10' 16' 3/16" = 1'-0"

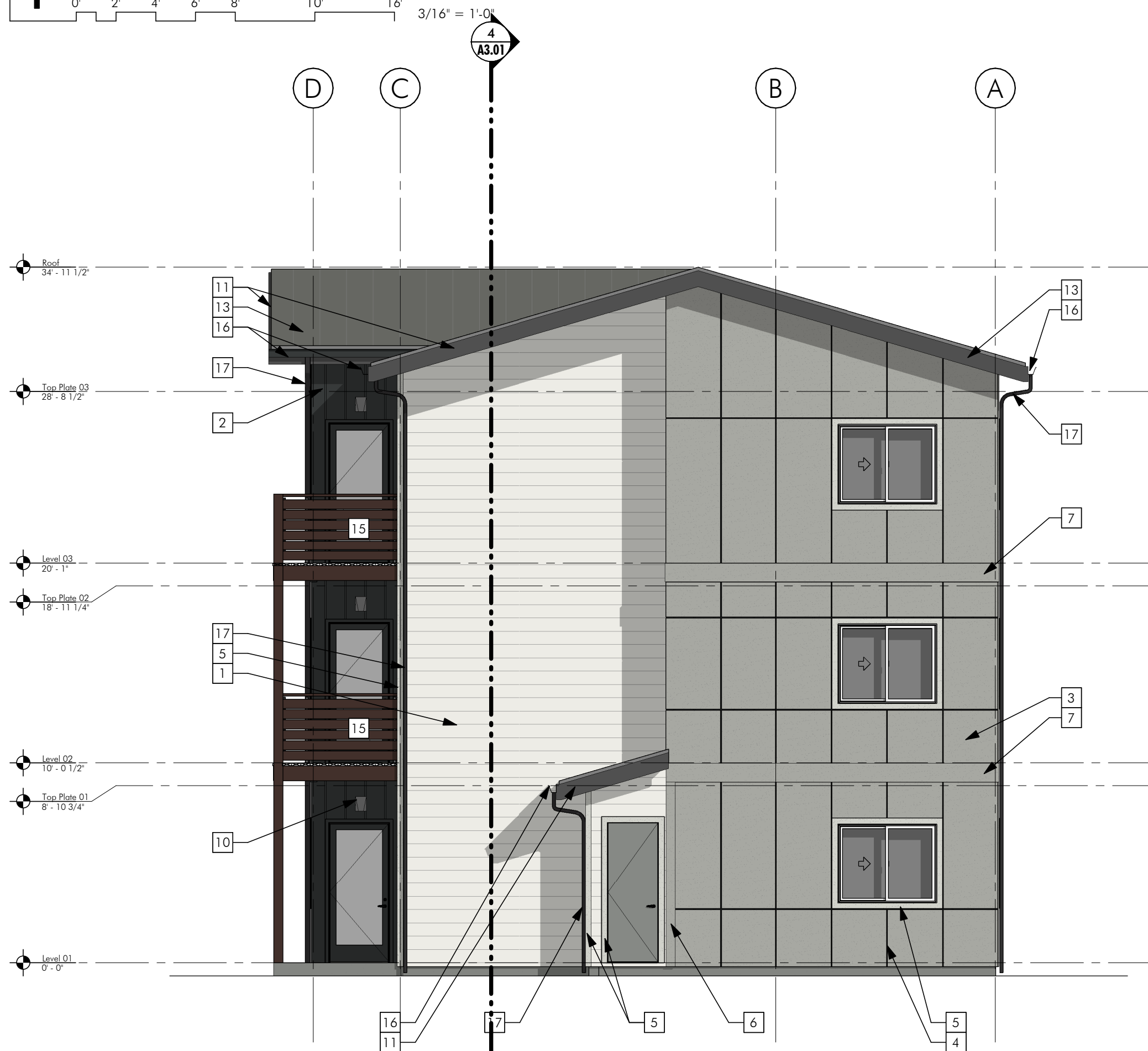


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