

Canby Urban Growth Boundary and Concept Planning

Community Summit
August 11, 2026



Comp Plan, TSP, UGB Expansion

2023

Winter

Spring

Summer

Fall

2024

Winter

Spring

Summer

Fall

2025

Winter

Spring

Summer

Fall

2026

Winter

Spring

Summer

Fall

Transportation Plan Update

Comprehensive Plan Update

Urban Growth Boundary Expansion

Adoption

Adoption

Summit
#1

Summit
#2

Summit
#3

Summit
#4

Summit
#5

Summit
#6

Spanish
Language
Summit

PAC #1

PAC #2

PAC #3

PAC #4

PAC #5

PAC #6

PAC #7

TAC Meetings

Planning Commission and City Council Briefings

Final Land Need

Land Use	Land Need
Residential <i>*Housing and infrastructure</i> <i>Parks</i> <i>**Neighborhood Commercial</i>	Up to 102.5 acres <i>73.1 acres</i> <i>Up to 25.7 acres</i> <i>Up to 3.7 acres</i>
Employment (primarily industrial; 0.70 acres commercial)	439.2 acres
Total UGB Expansion Land Need	Up to 541.7 acres

*Mandatory to accommodate entire residential need.

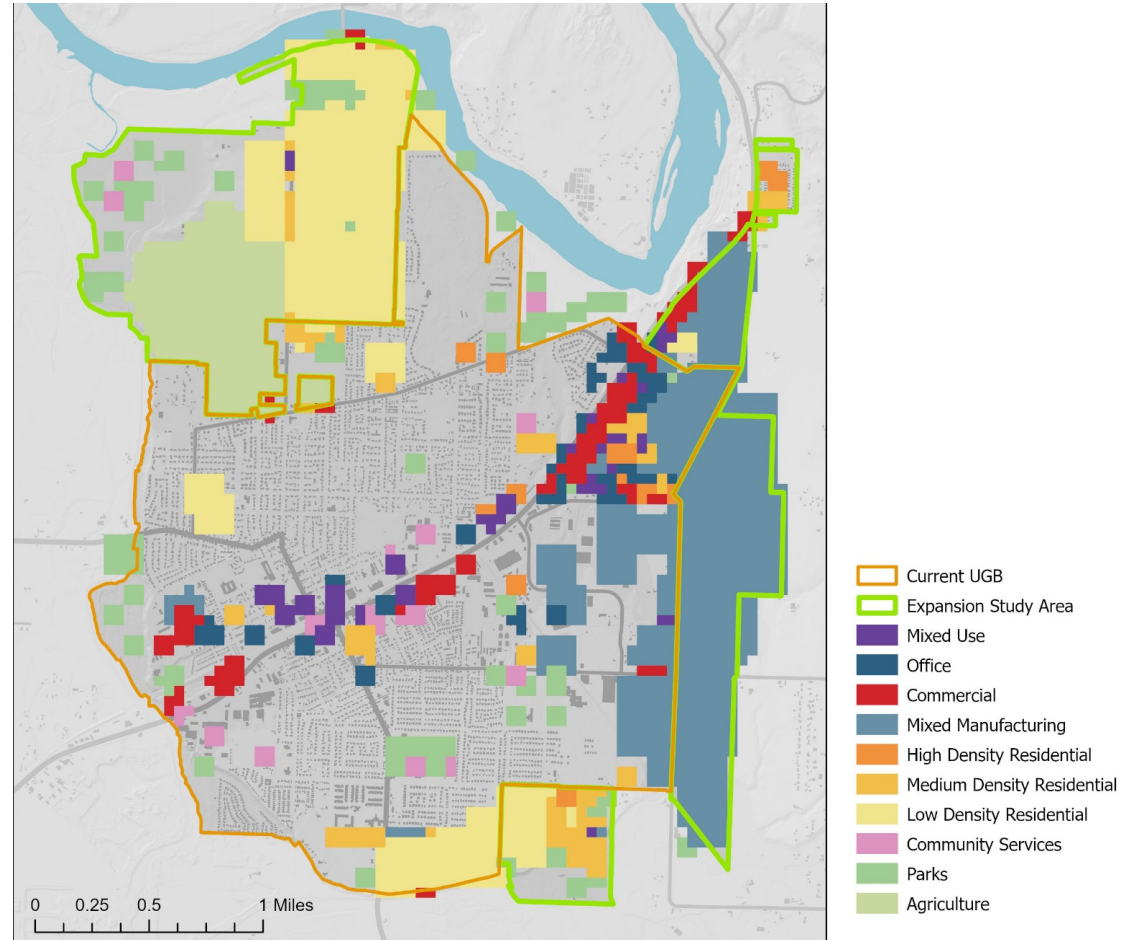
**Defined as "pedestrian-oriented, small-scale commercial development intended to serve surrounding residential areas."

UGB Expansion Notes

- UGB amendment process expands the boundary, but does not assign land uses. Land uses will be assigned through the Canby UGB Concept Plan process.
- However, it is necessary to discuss land uses when determining where to expand the UGB.
- Residential land need includes land needed for homes, parks, neighborhood-serving commercial, and associated infrastructure right-of-way.
- Virtually all of the employment land need is for industrial uses, with less than one acre of commercial land need. “Employment” = “Industrial”.
- Through community discussion, the City has determined that some subareas are only appropriate for residential use (1a, 1d, 2, 3, 4, 5, 6). Some subareas are only appropriate for employment use (8, 9). Other subareas are appropriate for either use (1b, 1c, 7, 10).

UGB Expansion Community Preferences

Community members generally prefer residential uses in the northwest subareas and employment uses in the eastern subareas.



Parcel Prioritization

Priority	Applicability to Canby
1. Urban reserves, exception lands, non-resource lands	Canby has no urban reserves or applicable non-resource lands. Canby does have exception lands*.
2. Marginal lands	Canby has no marginal lands.
3. Low Value Farmland	Canby has very little low-value farmland within the UGB Study Area.
4. High Value Farmland	Land within the Canby UGB Study Area is predominantly high-value farmland.

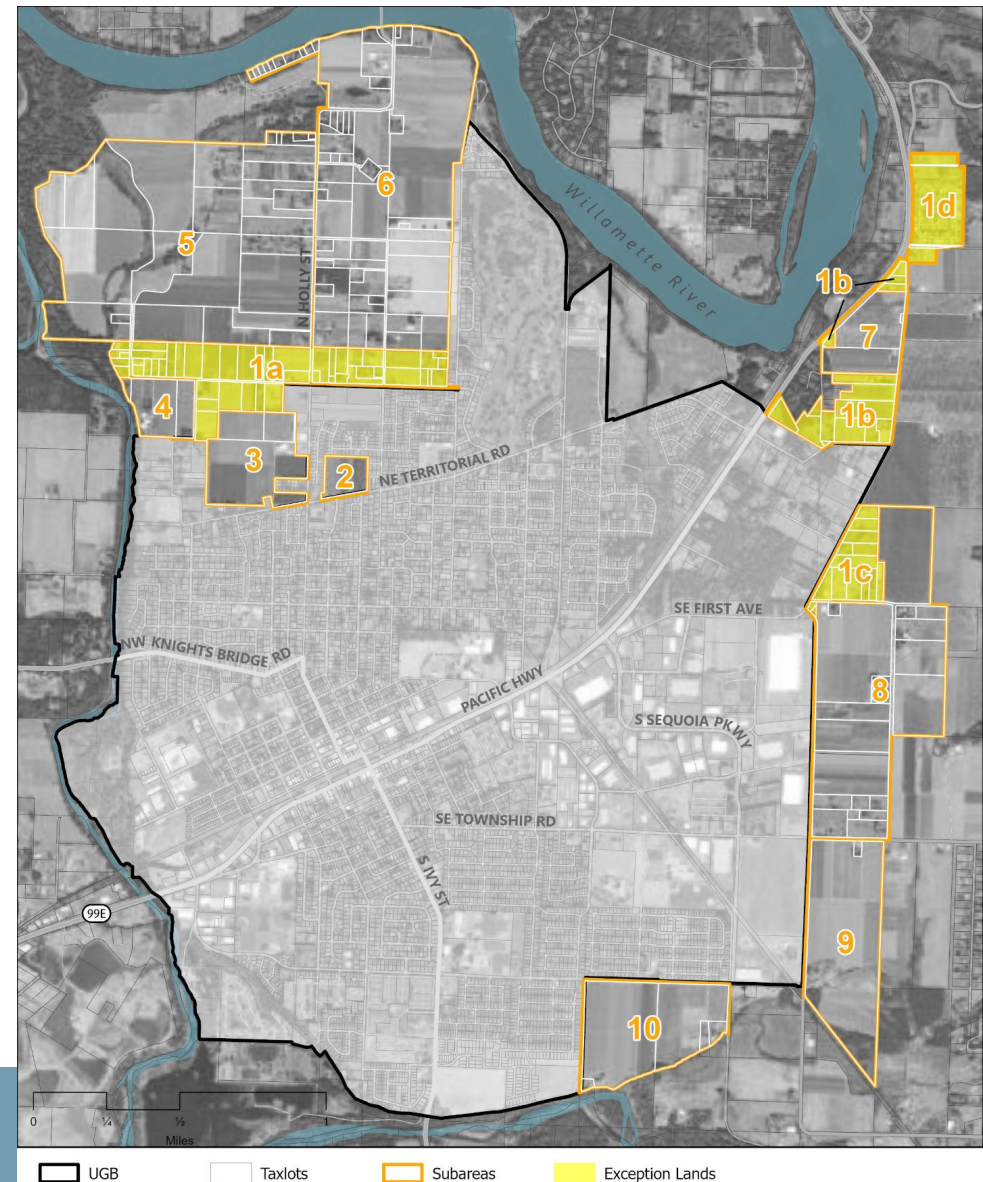
*Exception lands are those outside of the UGB, but containing urban zone designations:

- Rural Residential Farm Forest 5-Acre (RRFF5)
- Rural Area Residential 2-Acre (RA2)
- Rural Industrial (RI)

Priority #1: Exception Lands

Subareas 1a, 1b, 1c, 1d

- Recommend including Subarea 1a. The 116 acres in Subarea 1a is sufficient to accommodate:
 - The entire residential need (73 acres)
 - Parks
 - Neighborhood-serving commercial
- Recommend including Subareas 1b and 1c to accommodate industrial development.
- Do not recommend Subarea 1d to be included.

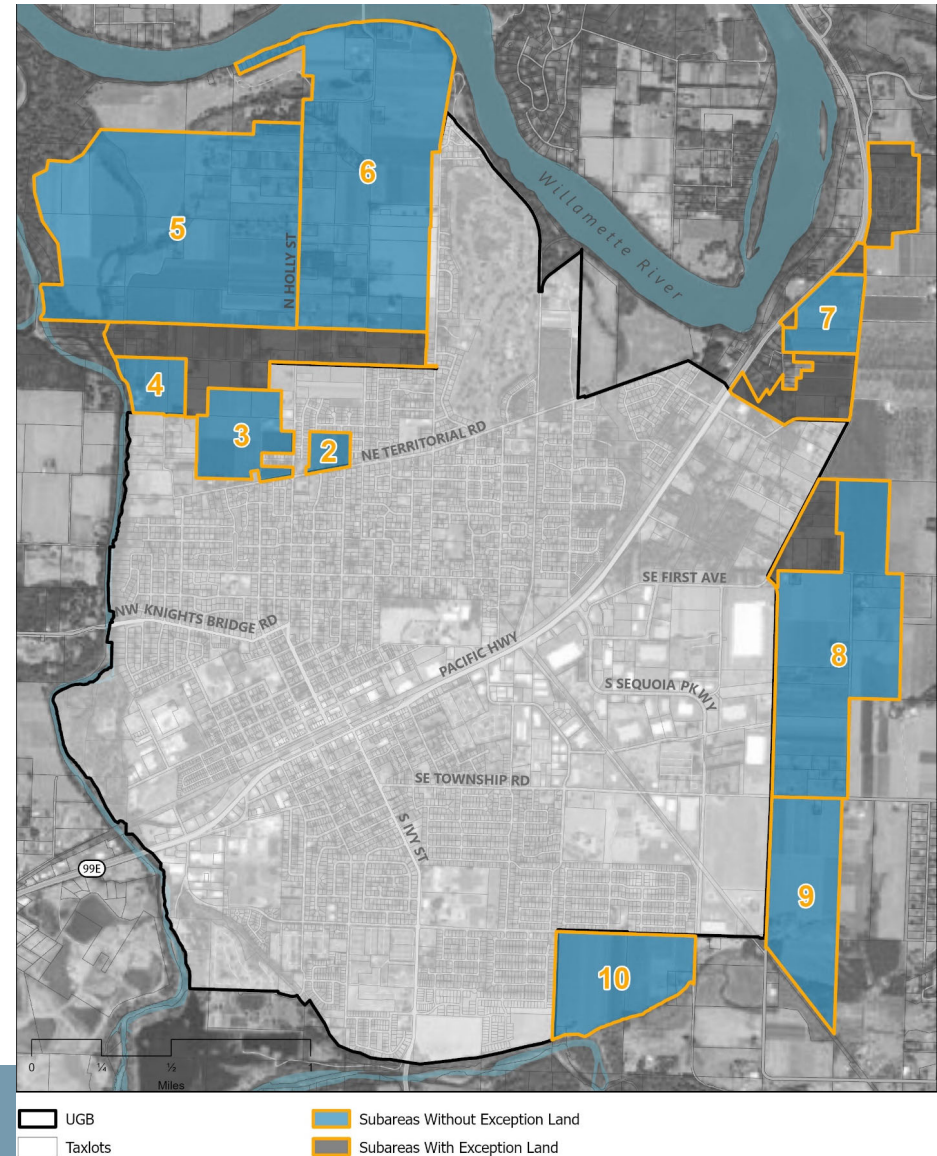


Priority #4: High-Value Farmland

Subareas 2-10

- Recommend including Subareas 7, 8, 9* for industrial use.
- Don not recommend including Subareas 4, 5, 6, 10.
- Don not recommend including Subareas 2, 3. Add to UGB through future amendment.

*Southern portion of Subarea 9 is in the 100-year floodplain and not included in the recommendation.



UGB Recommendation

Recommend for Current UGB Expansion

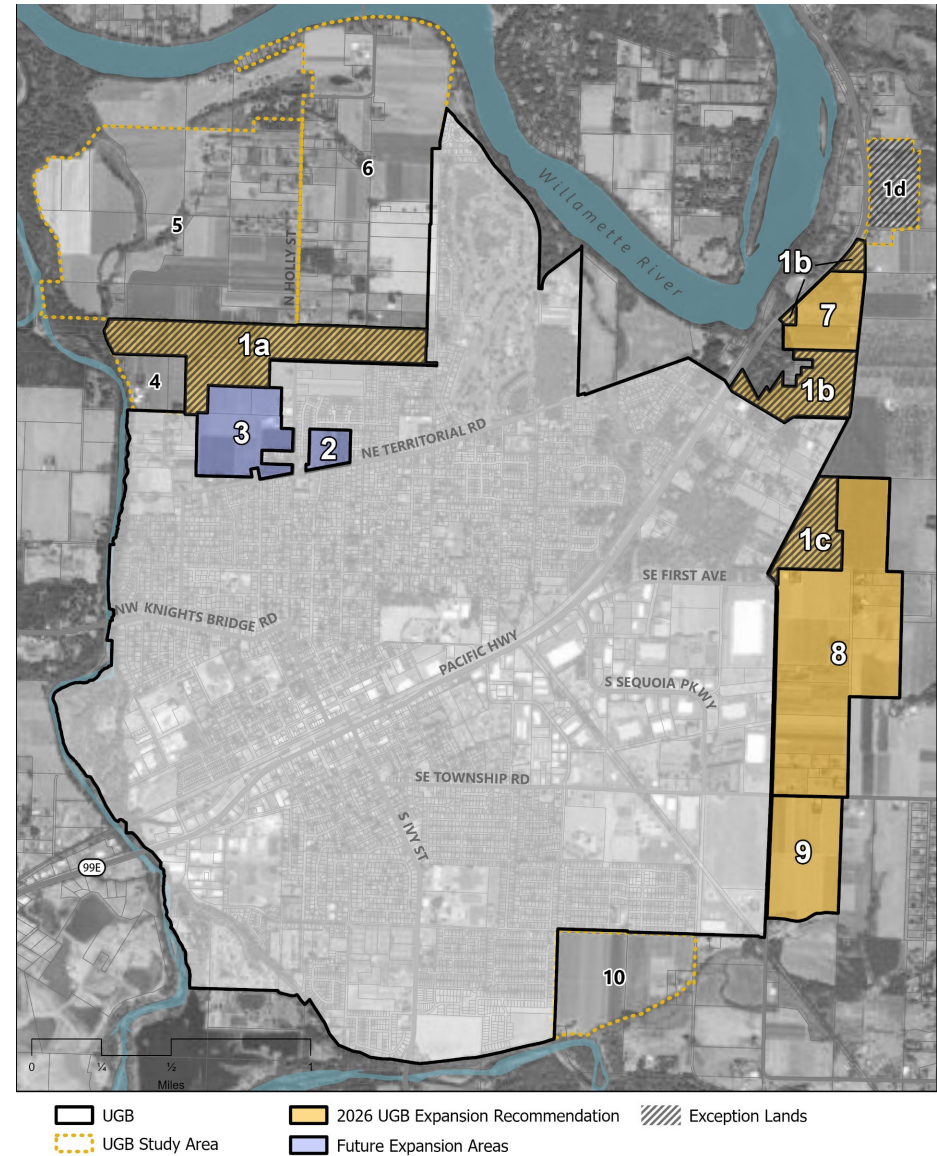
Subareas 1a, 1b, 1c, 7, 8, 9

Recommend for Subsequent UGB Expansion

Subareas 2, 3

Not Recommended for Current UGB Expansion

Subareas 1d, 4, 5, 6, 10



UGB Recommendation

- Total 20-year land need = up to **541.7 acres**
- UGB amendment recommendation = up to 529.4 gross acres, 492.1 unconstrained acres

Subarea	Gross Acres	Gross UGB Acres	Unconstrained Residential Acres	Unconstrained Nbhd Comm Acres	Unconstrained Park Acres	Unconstrained Employment Acres	Total Unconstrained Acres
1a	115.9	115.9	73.1	Up to 3.7	Up to 25.7		Up to 102.5*
1b	50.0	50.0				42.3	42.3
1c	34.3	34.3				34.3	34.3
1d	39.0						
2	13.0						
3	60.8						
4	27.8						
5	392.5						
6	345.8						
7	40.5	40.5				38.7	38.7
8	227.9	227.9				213.5	213.5
9	112.0	112.0				60.8	60.8
10	95.9						
TOTAL	1,555.4	529.4	73.1	Up to 3.7	Up to 25.7	389.6	Up to 492.1

UGB Expansion Adoption Schedule

UGB Expansion

- City Planning Commission Hearing – August 24
- City Council Work Session – September 2
- City Council Hearing – September 16
- County Planning Commission Hearing – November 9
- BOCC Hearing – December 1

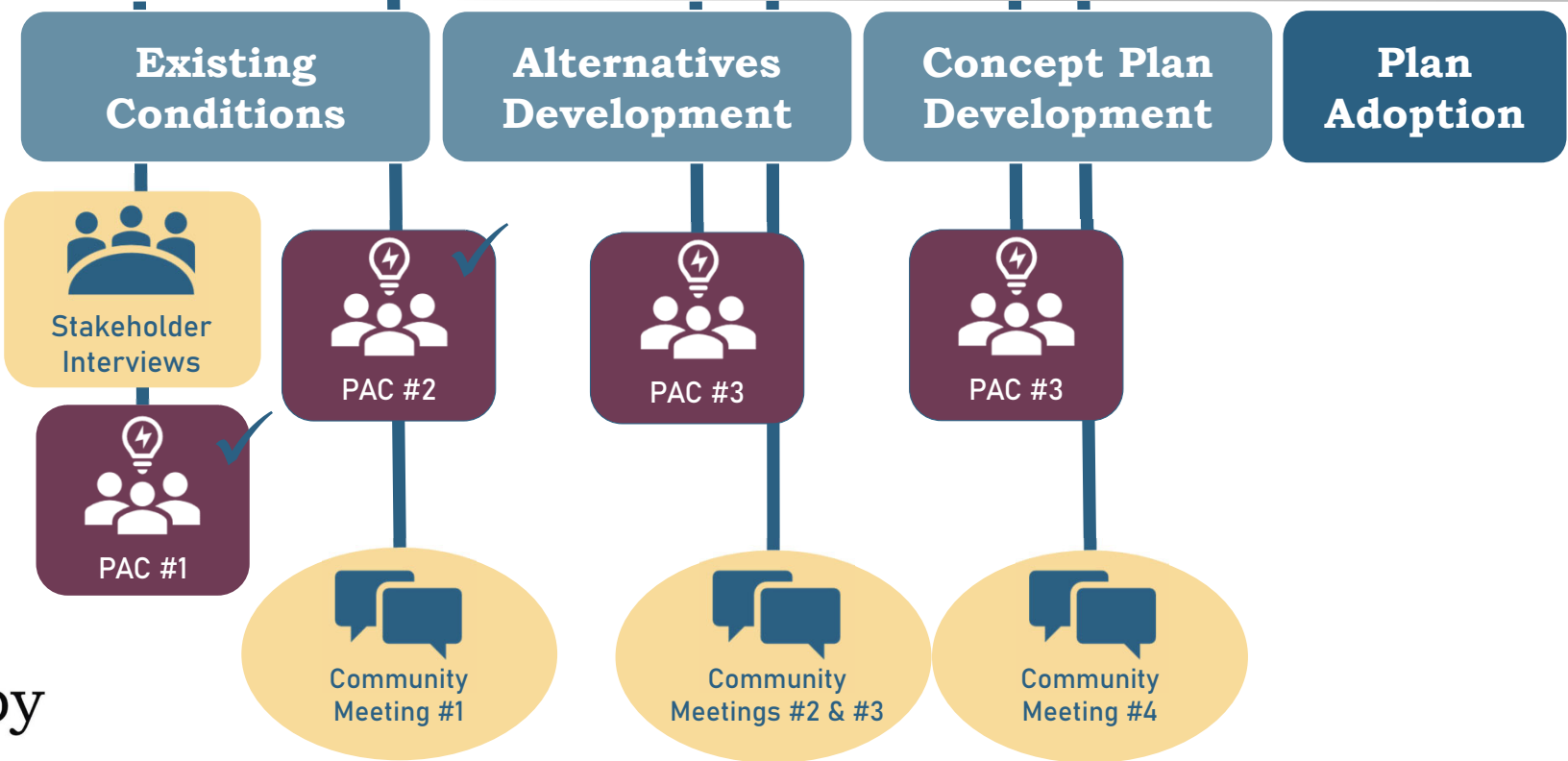
UGB Concept Plan

UGB Expansion Concept Plan

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Vision & Guiding Principles

Memo #1: Vision

Canby UGB Concept Plan areas will add to the City's complete communities that provide housing choices, high-wage jobs, accessible parks, and reliable infrastructure. Development will support a mix of housing types for residents of different ages, household sizes, and income levels while strengthening Canby's local economy and employment opportunities.

A safe and connected transportation network will link new areas to schools, parks, downtown, and employment centers, supporting convenient travel by walking, bicycling, driving, and other mobility options. Parks, trails, and natural features will be integrated into new development, reinforcing Canby's proximity to nature and small-town character.

Growth will be planned to ensure infrastructure and public services are delivered efficiently and concurrently with development, supporting a healthy, resilient, and economically prosperous community.

Memo #1: Guiding Principles

Complete Areas and Housing Choice

Plan for new development that provides a diverse mix of housing types and densities to meet housing needs and support residents across all stages of life.

Strong Employment Areas and Economic Opportunity

Support a diverse and resilient local economy by ensuring the availability of employment land and infrastructure to attract and retain businesses that provide stable, high-wage jobs.

Connected and Safe Transportation Network

Design a multimodal transportation system that prioritizes safety, accessibility, and connectivity while supporting efficient movement of people and goods.

Memo #1: Guiding Principles

Integrated Parks, Trails, and Natural Areas

Create an interconnected network of parks, trails, and open spaces that promote recreation, environmental stewardship, and access to natural amenities.

Reliable and Efficient Infrastructure

Ensure that infrastructure systems are planned and delivered in coordination with growth to support long-term community needs and fiscal sustainability.

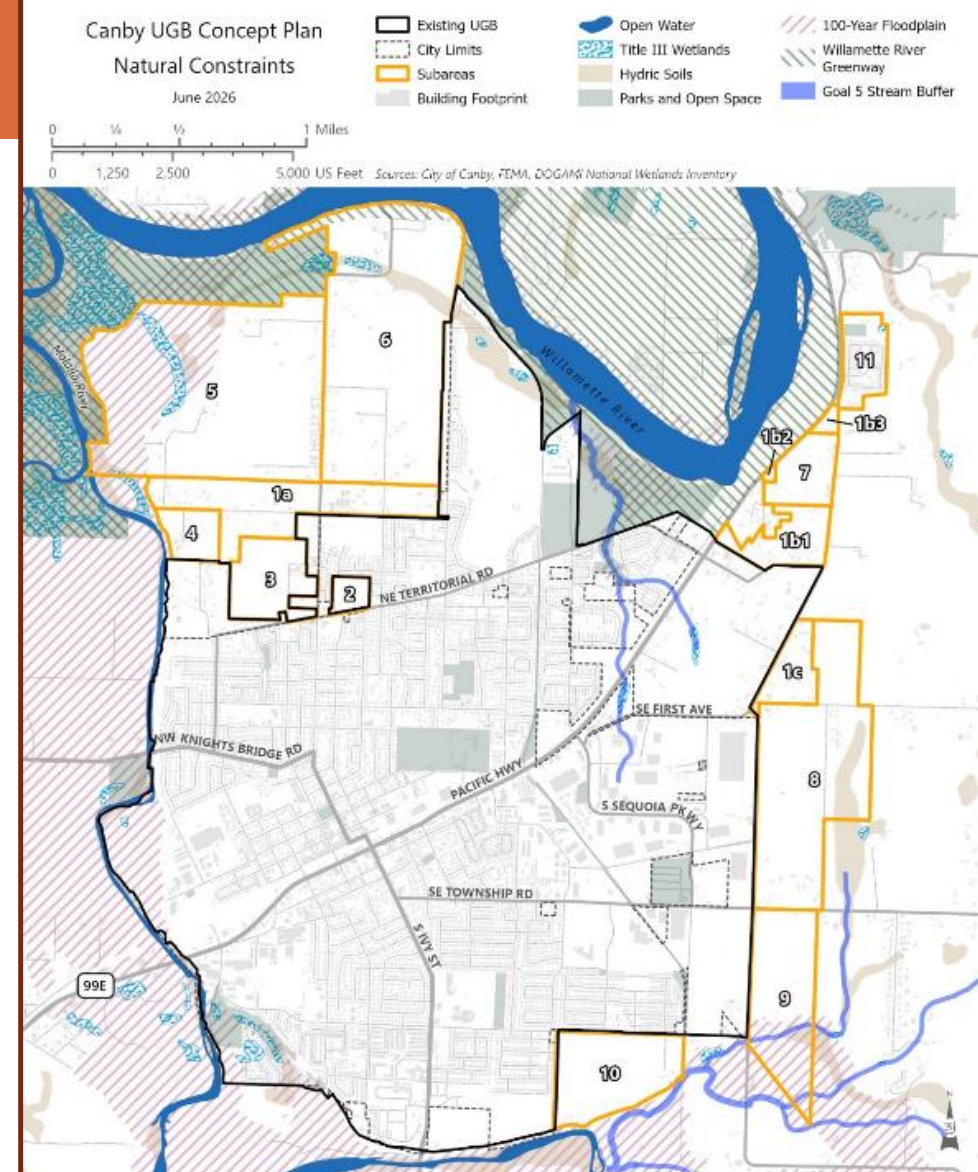
Coordinated and Orderly Urban Growth

Guide the transition from rural to urban land uses in a coordinated and efficient manner that supports the city's vision for regional growth and management.

Existing Conditions

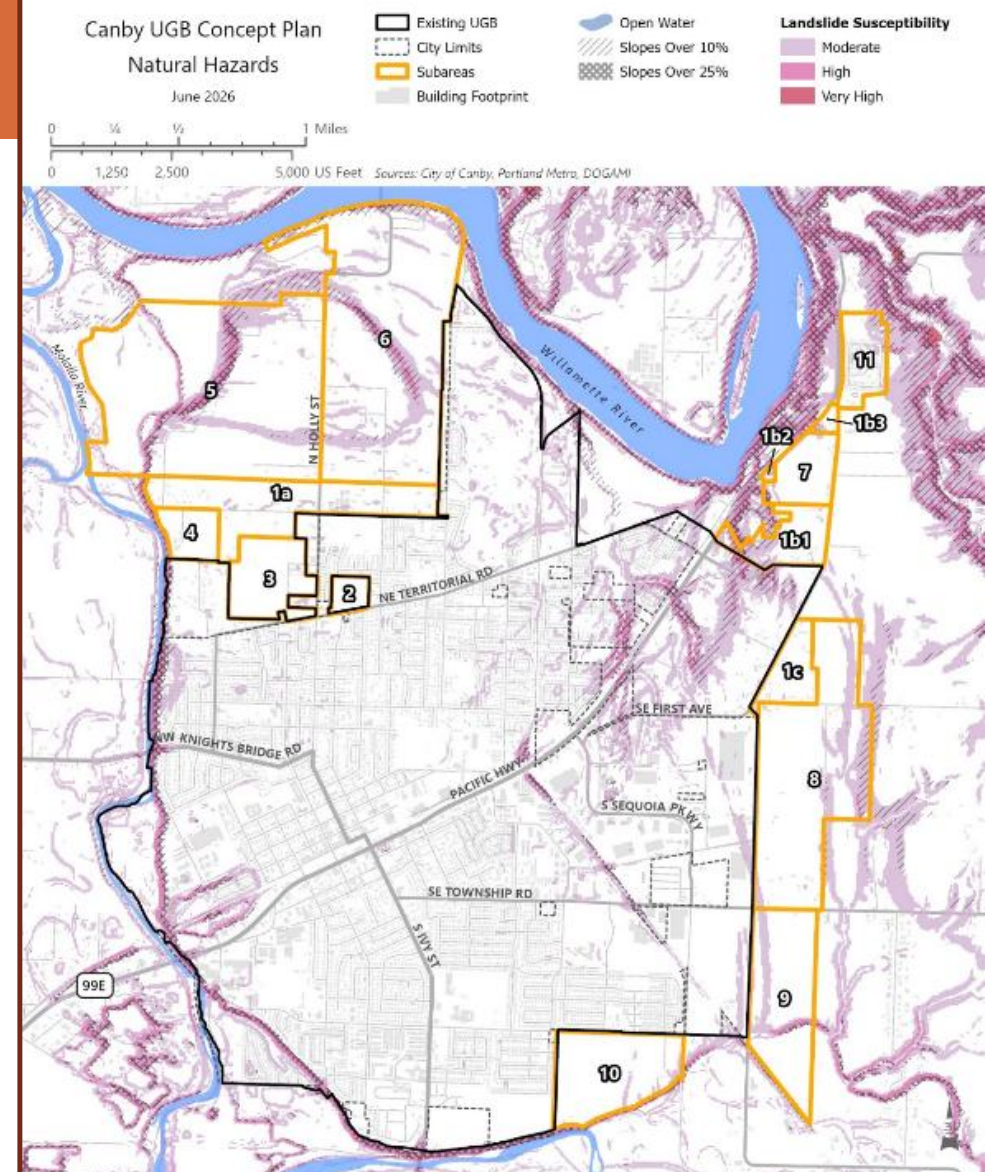
Goal 5: Natural Resources

- Wetlands, riparian areas, and floodplains are concentrated along major waterways (Molalla and Willamette Rivers)
- Canby's water supply relies on both the Molalla River and groundwater resources
- Source water protection may influence the location and intensity of future development to protect water quality



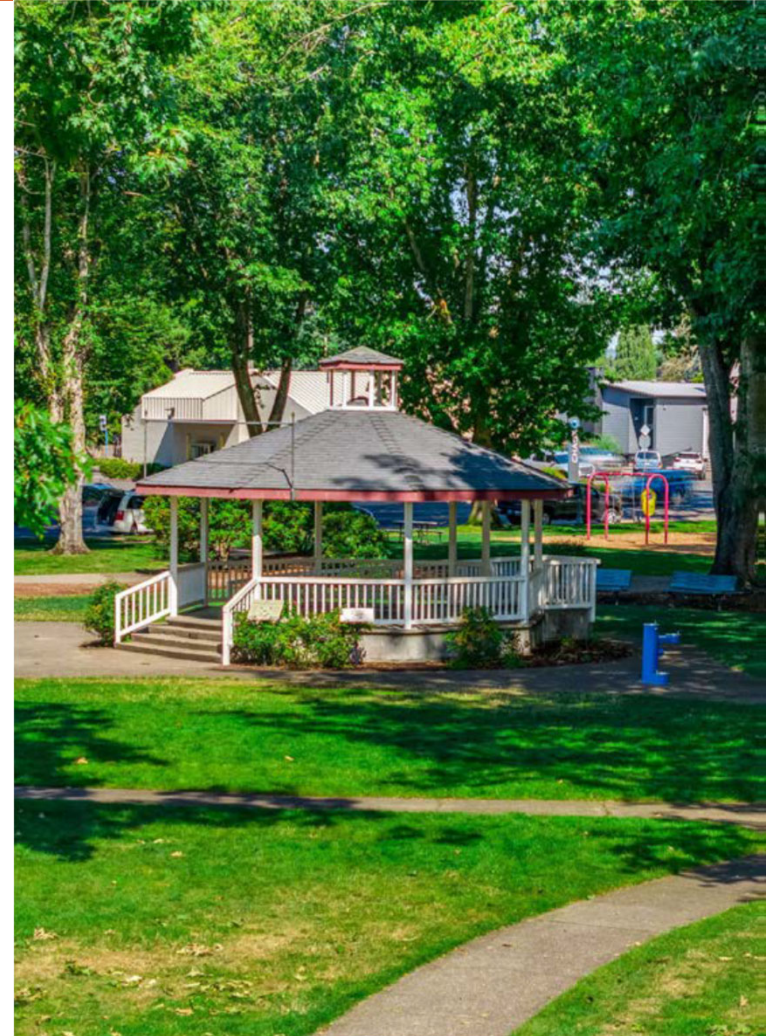
Goal 7: Natural Hazards

- Seismic hazards, including the Cascadia Subduction Zone and regional fault systems, present long-term risks that should be considered in future development
- Landslide hazards are generally limited due to the area's flat topography but occur along river corridors and steeper slopes
- Within the recommended expansion area, Subarea 9 contains the greatest landslide susceptibility and may require site-specific geotechnical analysis and mitigation



Goal 8: Parks & Rec

- The City's park standard is 10 acres of developed parkland per 1,000 residents
- More than 90% of residents have access to a park or recreation opportunity within a 10-minute walk, and nearly 100% meet the City's 1-mile service goal
- The 2026 Capital Improvement Plan identifies 77 acres of planned park projects, with 61 acres needed for future park expansion beyond the current UGB
 - Up to 35 acres for a sports and recreation center is included in the employment land need
 - Approximately 26 acres of additional park land is included in the UGB expansion recommendation



Goal 9: Economic Development

- Employment increased from 6,718 jobs in 2018 to 7,028 jobs in 2023, with industrial employment accounting for nearly half of all jobs
- The EOA projects demand for more than 6,700 additional jobs between 2023 and 2043
- To meet projected demand, the EOA concludes that approximately 440 acres of additional industrial land will be needed



Goal 10: Housing

- HNA projects a need for more than 2,200 new housing units between 2023 and 2043
- Housing affordability remains a challenge, with a median home price of \$582,000 (2022) and more than half of renter households considered cost burdened
- Single-family homes make up about 63% of Canby's housing stock, while demand is increasing for middle housing and multifamily housing types
- Housing policies support higher-density development, expanded housing choices, and growth in areas served by infrastructure, transportation, parks, schools, and services
- To accommodate projected growth, the HNA identifies a need for approximately 73 acres of additional residential land



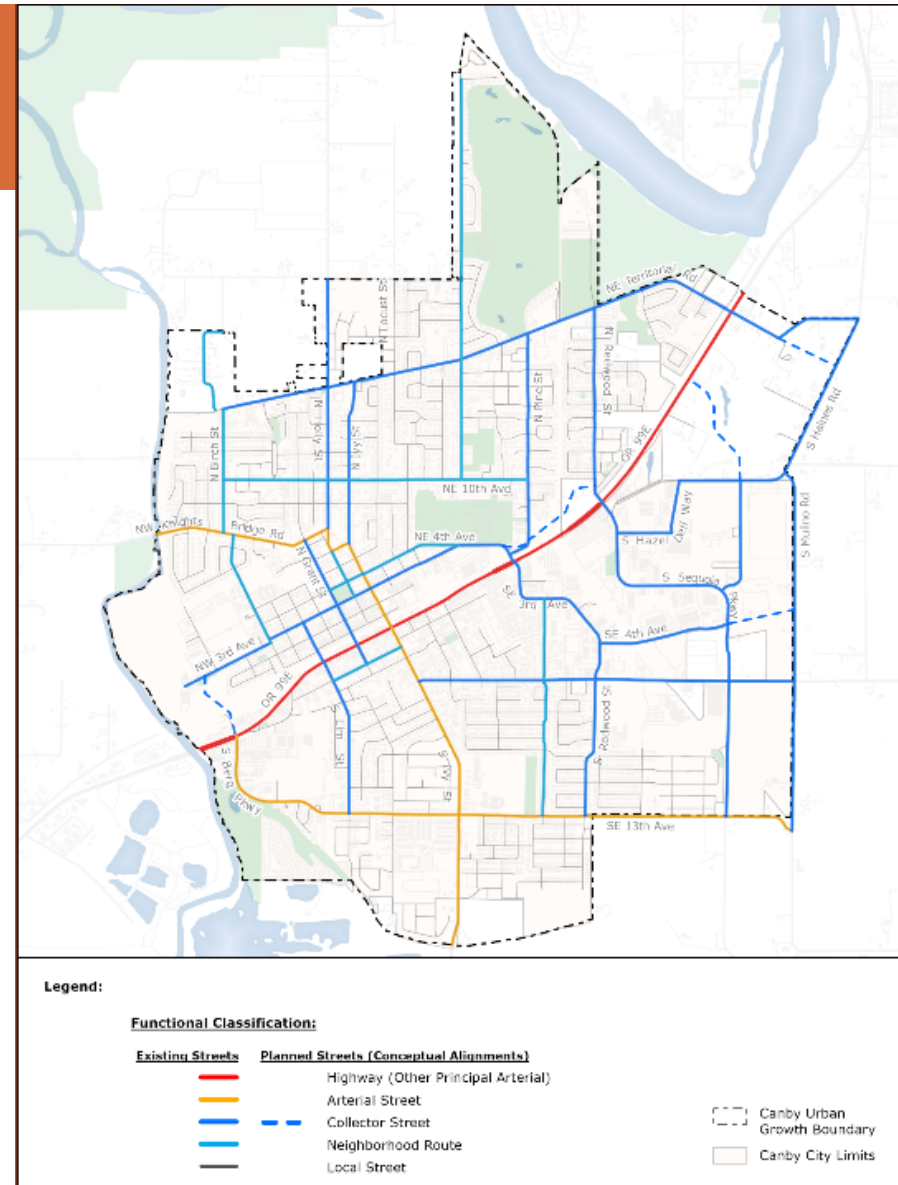
Goal 11: Public Facilities & Services

- Most subareas are not adjacent to public utilities and will require future utility extensions.
- Several subareas (1a, 2, 3, 8, 9) are adjacent to existing water, sewer, and stormwater facilities.
- In some cases, pump station upgrades will be required.



Goal 12: Transportation- Existing Network

- N. Holly Street and Territorial Road provide primary north–south mobility and are classified as Collector streets
- N. Birch Street and N. Maple Street provide local connections between Territorial Road and **northwest subareas** and are classified as Neighborhood Routes
- Haines Road, SE Territorial Road, Township Road, Mulino Road, and SE 13th Avenue provide higher-capacity **east-side connections** and are classified as Arterial or Collector streets

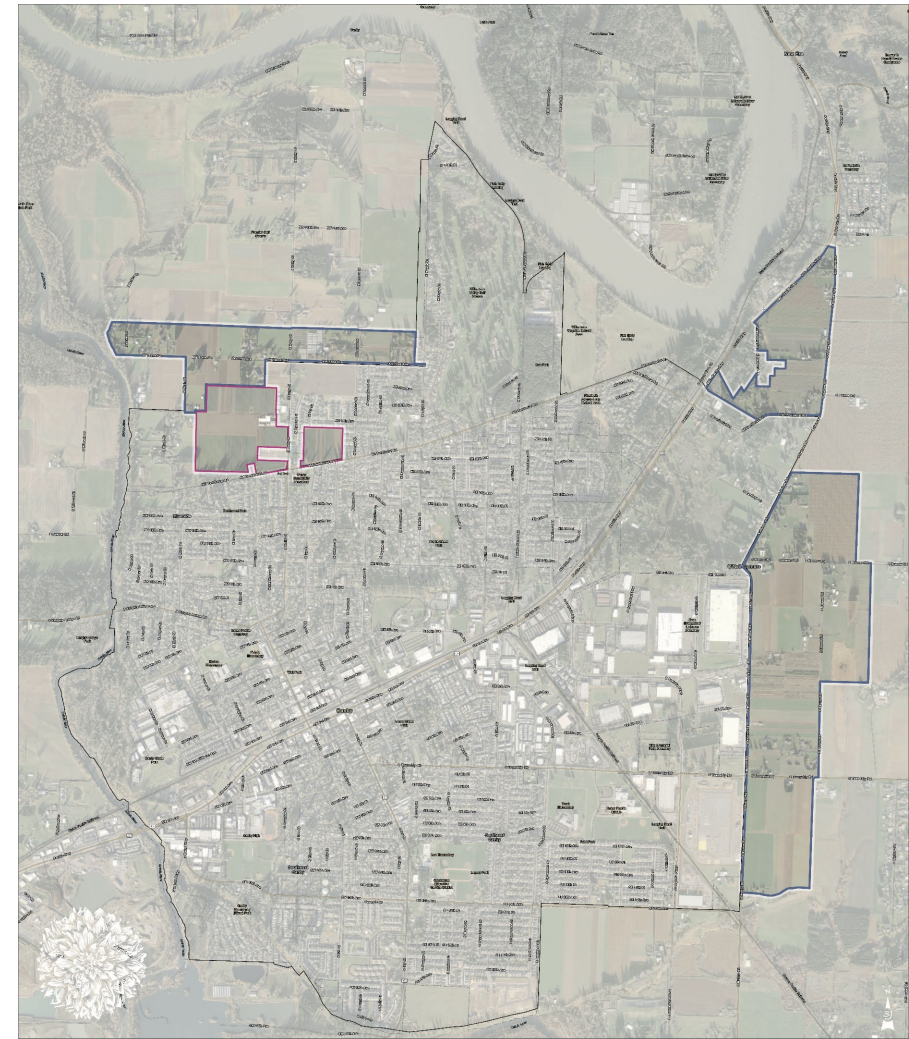


Mapping Future Growth

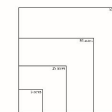
Mapping Activity

Each table will create a vision map:

- Northwest: place game pieces for different types of **Residential**, **Parks**, and **Neighborhood Commercial** uses
- East: place game pieces for different types of **Industrial** and **Park** uses



Canby Concept Plan



BIG IDEAS

RESIDENTIAL LAND USE: REED'S CROSSING, HILLSBORO



1. Single family small lot



2. Townhomes facing pocket park

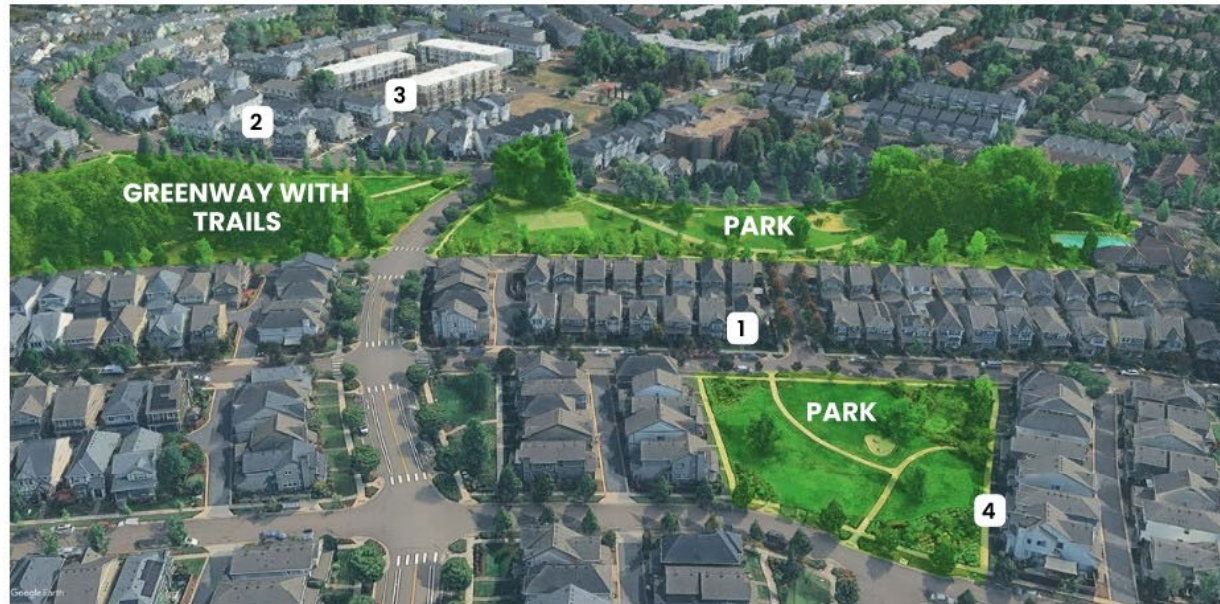


3. Triplexes



4. Single family facing open space

RESIDENTIAL LAND USE: VILLEBOIS, WILSONVILLE



1. Single family small lot



2. Townhouses facing open space



3. Multifamily



4. Single family facing open space

RESIDENTIAL LAND USE: NORTHWEST CROSSING, BEND



1. Multifamily facing open space



2. Cottage facing small green



3. Townhomes on Main Street



4. Standard single family

RESIDENTIAL LAND USE: DODD NEIGHBORHOOD, CANBY



1. Single family



2. Single family with connection to future park

RESIDENTIAL LAND USE: ASPEN NEIGHBORHOOD, CANBY



1. Single family



2. Townhomes

INDUSTRIAL LAND USE: LOWER INTENSITY



Office



Small-Scale Manufacturing/Assembly



Light Industrial



Office and Manufacturing



Food Processing

- Fewer Employees
- Less Traffic
- Smaller Footprint
- Less Energy Use

INDUSTRIAL LAND USE: **HIGHER INTENSITY**



Manufacturing Plant



Manufacturing Plant



Corporate Campus



Distribution Center



Heavy Manufacturing (Lampros Steel)

- More Employees
- Higher Traffic
- Larger Footprint
- More energy use

Show us your ideas of the future:

1. Cut up game pieces and arrange, and glue them on your map to create your vision for the UGB expansion areas
2. Record comments and “Big Ideas”
3. Present your map to the larger group



Workshop Game Pieces

Single Family Standard

Free standing residential building, unattached, containing separate bathing, kitchen, sanitary, and sleeping facilities.

Single Family Small Lot

Small, single-level, detached units, often on their own lots and, sometimes clustered around pockets of shared open space. A cottage is typically under 1,000 square feet in footprint.

Neighborhood Commercial

Pedestrian-oriented, small-scale commercial development intended to serve surrounding residential areas.

Townhomes and Plexes

Attached housing units, each on a separate lot, and each with its own entry from a public or shared street or common area.
Two to four separate dwelling units within one structure. In most instances each duplex, triplex or quadplex unit has its own separate entry.

Multifamily

Multiple dwelling units in a single building or groups of buildings on a single lot with 5 or more units per structure. Parking is shared, and entrance to units is typically accessed through a shared lobby.

Workshop Game Pieces



Opportunities & Constraints Discussion

What land uses are best suited for which locations?

Residential – 190 acres

- Single-Family Standard Lot – 60 acres
- Single-Family Small Lot & Cottages – 88 acres
- Townhomes/Plexes – 21 acres
- Multifamily/Other – 21 acres
- Parks – 31 acres
- Neighborhood Commercial – 8 acres

Employment – 414 acres

- Less Intensive Industrial (fewer employees, less traffic) – 207 acres
- More Intensive Industrial (more employees, more traffic) – 207 acres
- Parks – 13 acres

Next Steps

UGB Expansion Adoption Schedule

UGB Concept Plan

- Concept Alternatives – September
- PAC Meeting #3 – October
- Community Meeting #2 - October

Thank you!

