

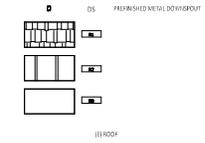
IX. Architectural Plans

- a. Site Plan
- b. Community Center
- c. Wood Shop
- d. Cascade House apartment building
- e. The Meadows apartment building
- f. Delivery Intake Building
- g. Event Center

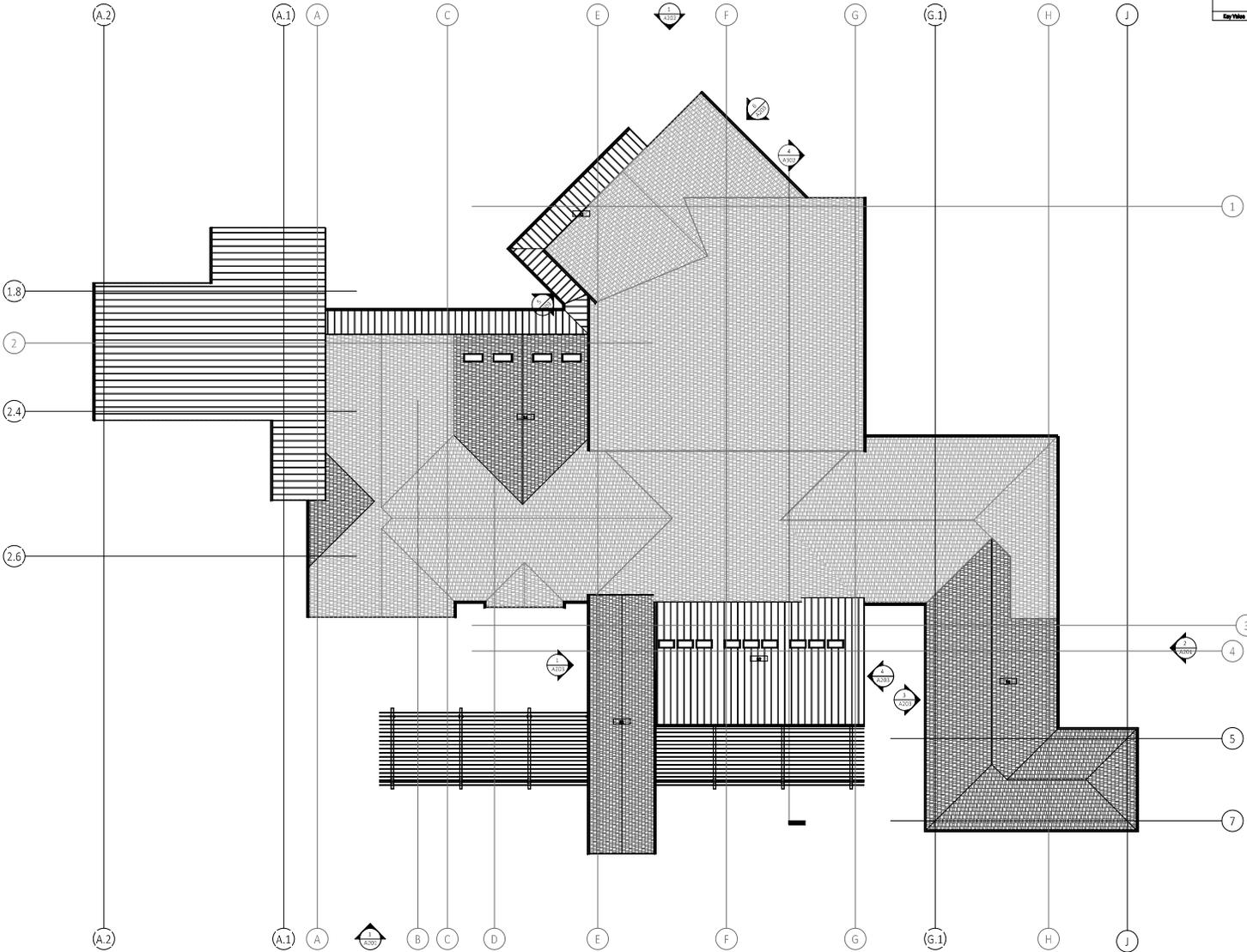
GENERAL ROOF PLAN NOTES

1. SEE SHEET A6.10 FOR ROOF ASSEMBLIES
2. CONTRACTOR TO VERIFY CONDITIONS OF EXISTING ROOF PRIOR TO DEMOLITION OF NEW CONSTRUCTION
3. EXISTING ROOF TO RECEIVE NEW ROOFING MEMBRANE AND ASPHALT SURFACES TO MATCH NOW

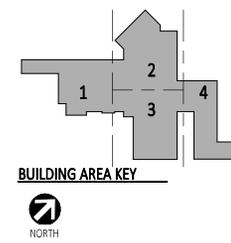
ROOF LEGEND



REVISIONS - ROOF PLAN	
Key Value	Keynote Test



1 NEW CONSTRUCTION - OVERALL ROOF PLAN
3/32" = 1'-0"



pinnacle
architecture, inc.
"ENHANCING LIVES AND COMMUNITIES"

1001 SW DISK DRIVE, SUITE 105
BEND OR 97702
541.388.9897
WWW.PINNACLEARCHITECTURE.COM



HOPE VILLAGE - PHASE O.C. 1 - COMMUNITY CENTER BUILDING

CLIENT:
HOPE VILLAGE

PROJECT ADDRESS:
1535 S IVY STREET, CANBY OR 97013

APPROVED FOR	DATE	BY
DESIGN REVIEW	09/26/2025	Approver

DESCRIPTION	DATE
▲	
▲	
▲	
▲	
▲	
▲	
▲	
▲	
▲	
▲	

PROJECT NO.: 22011330
DRAWN BY: JACQUELYNNE BRADY
CHECKED BY: CHECKER

© PINNACLE ARCHITECTURE, INC. 2025. UNPUBLISHED WORK. 3/27/25

NEW CONSTRUCTION - OVERALL ROOF PLAN

A130

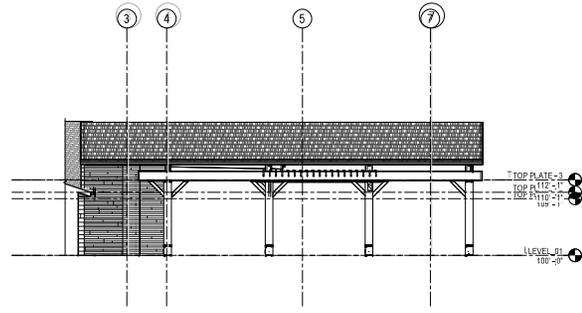
9/26/2025 10:58 AM

GENERAL EXTERIOR ELEVATION NOTES

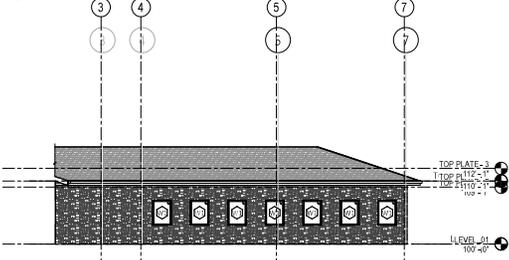
- GENERAL CONTRACTOR TO COORDINATE ALL EXTERIOR WALL MOUNTED AND EQUIPMENT TO INSURE PROPER ALIGNMENT AND PROTECTION.
- GENERAL CONTRACTOR TO COORDINATE AND MAINTAIN CONTINUOUS FLASHING AND WEATHER TIGHT DETAILS WITH RESPECT TO OPENINGS AND SIDING.
- EXTERIOR FINISHES AND TRIM ARE TO WRAP AROUND CORNERS AND ALCOVES WHERE OCCURS UNLESS NOTED OTHERWISE.
- PAINT IN TRIM, FLASHING, EXPOSED CONDUIT, ANCHOR BOLTS AND OTHER WHERE MISCELLANEOUS METALS AND EQUIPMENT VISIBLE TO PUBLIC VIEW TO MATCH ADJACENT WORKS UNLESS NOTED OTHERWISE.
- DO NOT PAINT PRE-FINISHED ITEMS OR EQUIPMENT UNLESS NOTES SPECIFICALLY OTHERWISE.
- SEE SHEET A-202 FOR SPECIFIC FINISH AND PENETRATION DETAILS.
- SEE SHEET A-203 FOR WRM WINDOW BASIC DETAIL.

Symbol	Material
	SHINGLES
	MANUFACTURED STONE
	LAP SIDING
	BOARD AND BATTEN
	METAL ROOFING
	PAINTED METAL PANEL

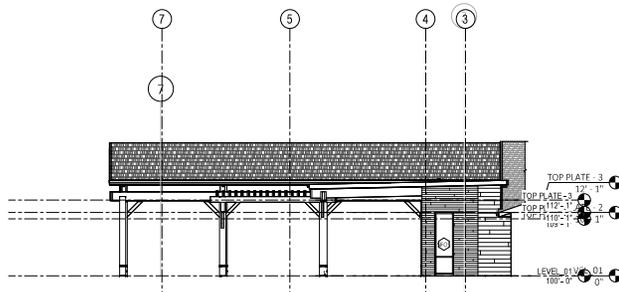
Elevation	Material
	SHINGLES
	MANUFACTURED STONE
	LAP SIDING
	BOARD AND BATTEN
	METAL ROOFING
	PAINTED METAL PANEL



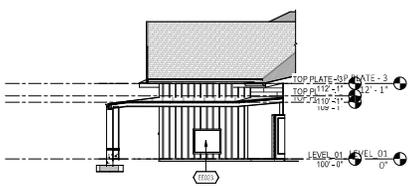
1 SW ELEVATION - MAIN ENTRY
1/8" = 1'-0"



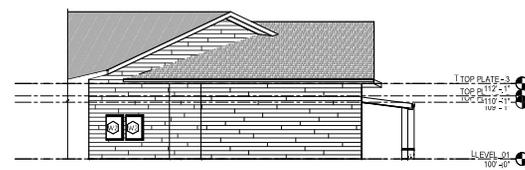
3 SOUTH WEST ELEVATION - ADMINISTRATION
1/8" = 1'-0"



4 NORTHEAST ELEVATION - MAIN ENTRY
1/8" = 1'-0"



5 SW ELEVATION - AUDITORIUM
1/8" = 1'-0"



6 NORTHWEST ELEVATION - AUDITORIUM
1/8" = 1'-0"

pinnacle
architecture, inc.

"ENHANCING LIVES AND COMMUNITIES"

1001 SW DISK DRIVE, SUITE 105
BEND OR 97702
541.388.9897
WWW.PINNACLEARCHITECTURE.COM



HOPE VILLAGE - PHASE O.C. 1 -
COMMUNITY CENTER BUILDING

CLIENT:
HOPE VILLAGE

PROJECT ADDRESS:
1535 S IVY STREET, CANBY OR
97013

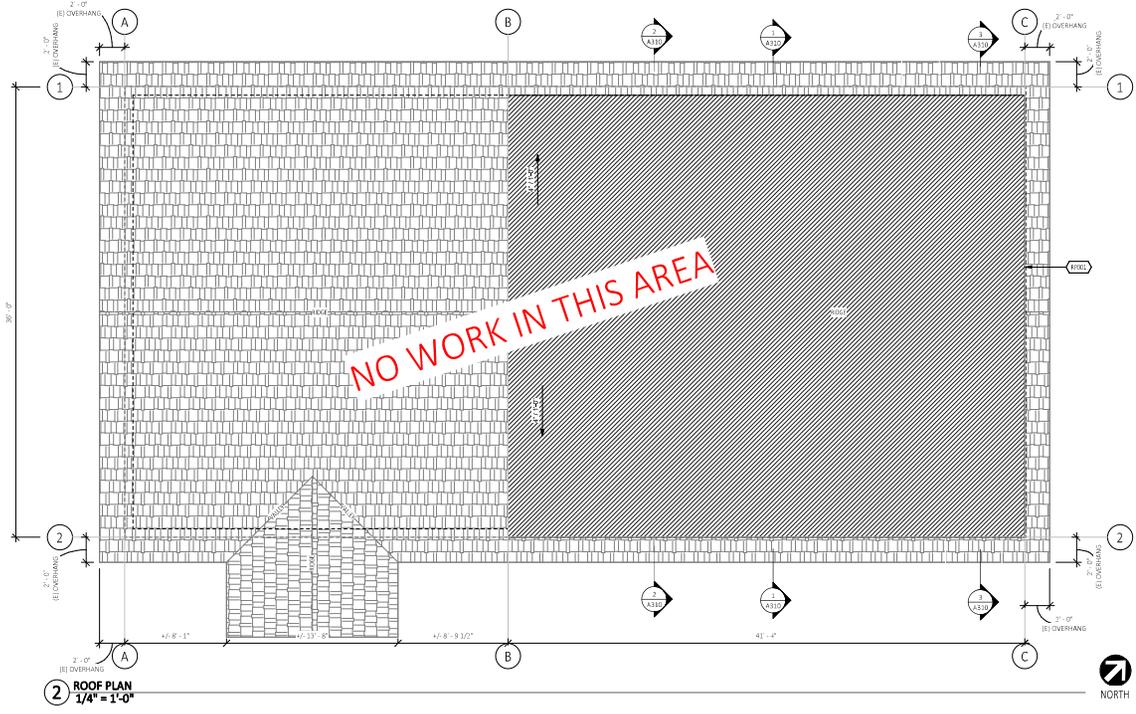
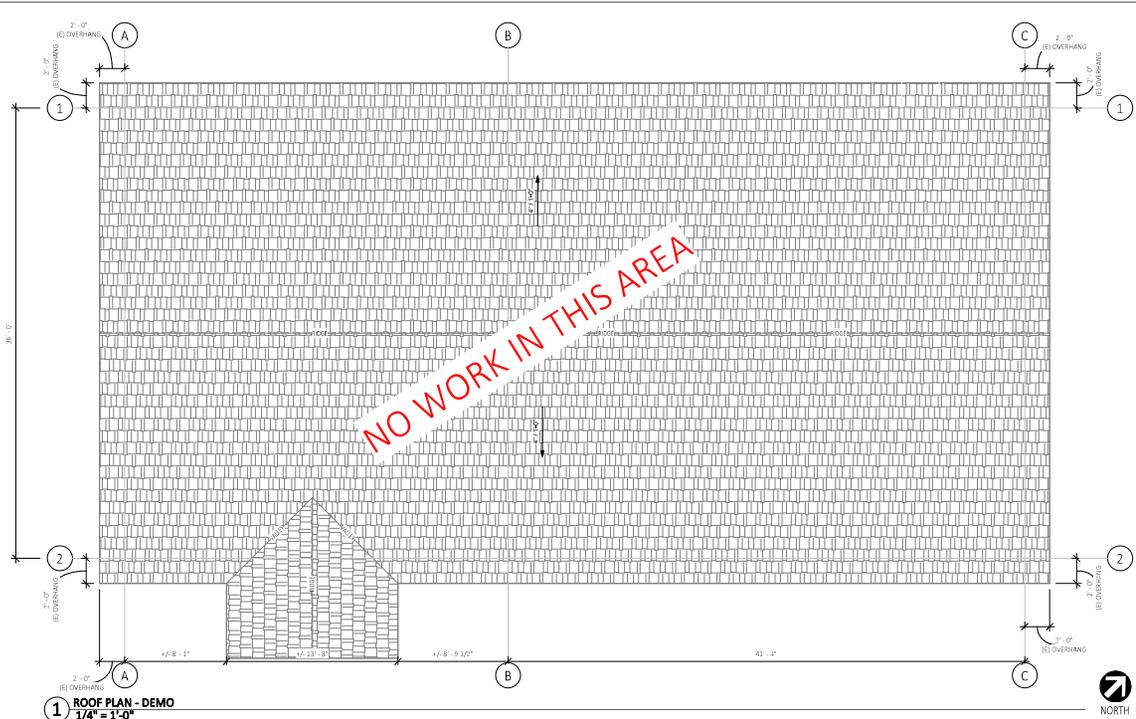
APPROVED FOR	DATE	BY
DESIGN REVIEW	09/26/2025	RYAN CAIN

DESCRIPTION	DATE

PROJECT NO.: 25014330
DRAWN BY: JACQUELYNNE BERGSON
CHECKED BY: RYAN CAIN
© PINNACLE ARCHITECTURE, INC. 2025. UNLESS NOTED OTHERWISE.

NEW CONSTRUCTION - EXTERIOR
ELEVATIONS

A203



GENERAL ROOF PLAN DEMO NOTES

1. PROTECT EXISTING ROOF DURING CONSTRUCTION IF ANY REPAIRS ARE. PLEASE NOTIFY THE ARCHITECT IMMEDIATELY.
2. ALL EXISTING ROOF EQUIPMENT, VENTS AND PENETRATIONS ARE TO REMAIN UNLESS NOTED OTHERWISE.
3. BUILDING WILL BE OCCUPIED DURING DEMOLITION AND INSTALLATION OF NEW WORK.
4. CONTRACTOR TO LIMIT OBSTRUCTIONS TO BUILDING OPERATIONS EXCEPT WHEN APPROVED BY OWNER FOR LIMITED AREAS AND TIME FRAMES.
5. CONTRACTOR RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS PRIOR TO THE START OF NEW WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO START OF WORK.
6. CONTRACTOR SHALL COORDINATE BETWEEN ARCHITECTURAL DRAWINGS AND OTHER DISCIPLINE'S DRAWINGS FOR WORK REQUIRED.
7. PROTECT EXISTING CONSTRUCTION NOT SCHEDULED FOR DEMOLITION OR REMOVAL.

REVISIONS - DEMO	
Rev	Description

GENERAL ROOF PLAN NOTES

1. SEE SHEET A130 FOR ROOF ASSEMBLIES.
2. DIMENSIONS ARE TO FACE OF STUD WHERE SHOWN ON ROOF PLAN.
3. REFER TO BUILDING SECTIONS FOR TOP PLATE HEIGHTS.
4. PROTECT ALL GUTTERS, DOWNSPOUTS AND FISCAL TRIMS FOR ALL SAVED TYP.

ROOF LEGEND

- DS PREFINISHED METAL DOWNPOUT
- PREFINISHED METAL DOWNPOUT

REVISIONS - ROOF PLAN	
Rev	Description
1	CALL OUT EXTERIOR BUILDING WALL HANGING BELOW, SHOWN BUSHED

pinnacle
architecture, inc.

"ENHANCING LIVES AND COMMUNITIES"

1001 SW DISK DRIVE, SUITE 105
BEND OR 97702
541.386.9897
WWW.PINNACLEARCHITECTURE.COM

REGISTERED ARCHITECT
RYAN M. CAIN
NOT FOR CONSTRUCTION
18815
STATE OF OREGON

HOPE VILLAGE - PHASE O.C. 1 - THE SHOP

CLIENT:
HOPE VILLAGE

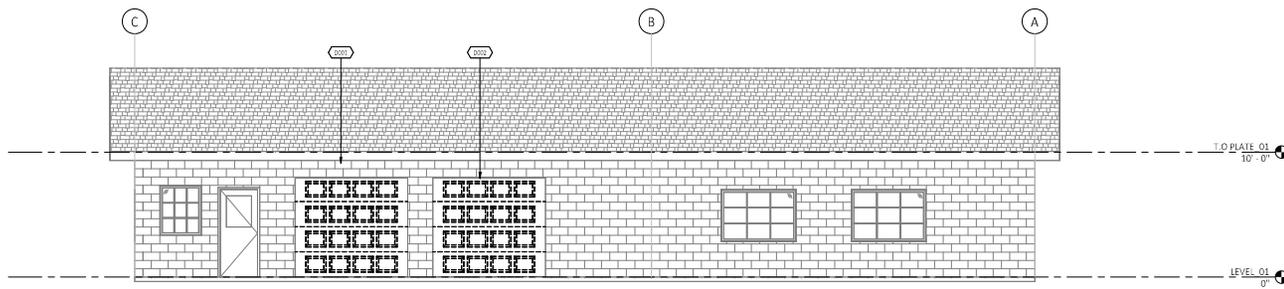
PROJECT ADDRESS:
1535 S IVY STREET, CANBY OR
97013

APPROVED FOR	DATE	BY
DESIGN REVIEW	05/26/2023	RYAN CAIN

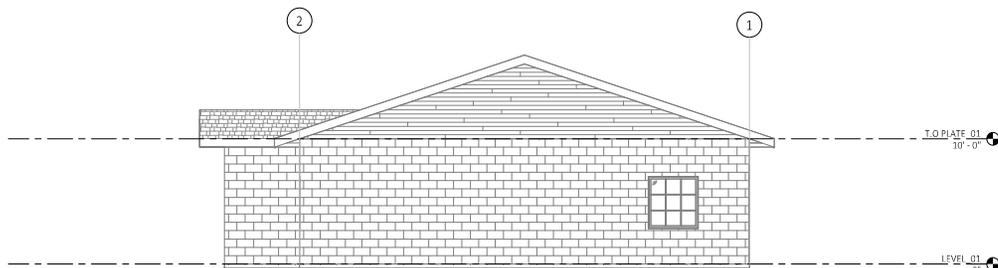
DESCRIPTION	DATE
▲	
▲	
▲	
▲	
▲	
▲	
▲	
▲	
▲	
▲	

PROJECT NO. 23011333
DRAWN BY: MIA GILBERT
CHECKED BY: RYAN CAIN
© PINNACLE ARCHITECTURE, INC. 2023. EXHIBIT 0001 (REV. 07/2022)

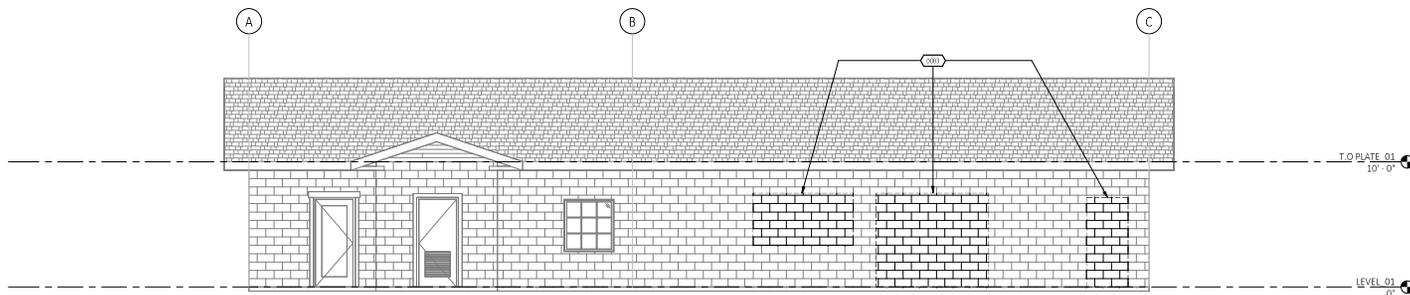
DEMO & PROPOSED ROOF PLAN



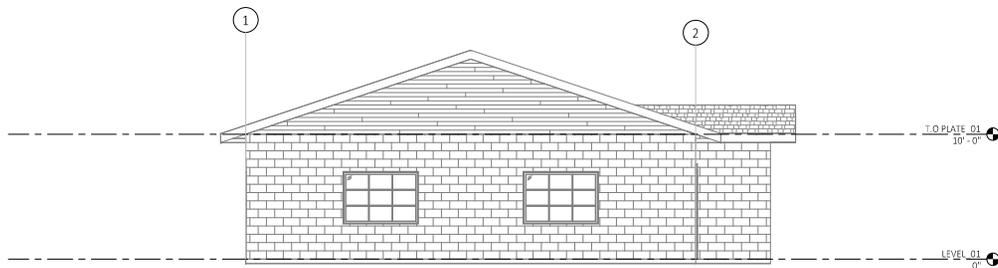
1 EXTERIOR ELEVATION - NORTH - DEMO
1/4" = 1'-0"



2 EXTERIOR ELEVATION - EAST - DEMO
1/4" = 1'-0"



3 EXTERIOR ELEVATION - SOUTH - DEMO
1/4" = 1'-0"



4 EXTERIOR ELEVATION - WEST - DEMO
1/4" = 1'-0"

REVISED - DEMO	
Key/Notes	Revised Text
0001	REMOVE IN ITS ENTIRETY EXCEPT FOR WALL MATERIAL AND FRAMING.
0002	REMOVE IN ITS ENTIRETY EXCEPT FOR TRAIL AND PERIMETER.
0003	REMOVE PORTION OF COM-1 WALL TO ALLOW FOR NEW CRANE. PROTECT ADJACENT COM-1 BLOCK DURING DEMOLITION.



"ENHANCING LIVES AND COMMUNITIES"

1001 SW DISK DRIVE, SUITE 105
BEND OR 97702
541.388.9897
WWW.PINNACLEARCHITECTURE.COM



HOPE VILLAGE - PHASE O.C. 1 - THE SHOP

CLIENT:
HOPE VILLAGE

PROJECT ADDRESS:
1535 S IVY STREET, CANBY OR
97013

APPROVED FOR	DATE	BY
DESIGN REVIEW	09/26/2023	RYAN CAIN

DESCRIPTION	DATE
▲	
▲	
▲	
▲	
▲	
▲	
▲	
▲	
▲	
▲	
▲	

PROJECT NO.:	23041330
DRAWN BY:	MELISSA BASTIC
CHECKED BY:	RYAN CAIN
© PINNACLE ARCHITECTURE, INC. 2023. CHANGING WHAT WAS BEING	

DEMO EXTERIOR ELEVATIONS

A210

REVISED 9/26/23 BY RYC



1 FLOOR PLAN - LEVEL 02
3/32" = 1'-0"

GENERAL FLOOR PLAN NOTES

1. SEE SHEET ALSO FOR WALL, FLOOR AND ROOF ASSEMBLIES.
2. SEE GRID FOR ROOMING PLANS, HEIGHTS AND ACCESSORY DETAIL.
3. FLOOR AND WINDOW FINISHING ARE TO CENTER OF FINISH FINISHING, UNLESS NOTED OTHERWISE.
4. WALL DIMENSIONS ARE TO FACE OF SLAB AND/OR FACE OF EXPOSED CONCRETE, UNLESS NOTED OTHERWISE.
5. CONTRACTOR TO VERIFY EXISTING RELIUS OPENING DIMENSIONS FROM TO EXISTING COORDS AND WINDOW.
6. ALL LOCATIONS WITH GLAZING TO HAVE SAFETY GLAZING PER CODE.
7. CONTRACTOR SHALL PROVIDE MEANS TO PROTECT THE PUBLIC AND WORKERS DURING THE RENOVATION PROCESS.
8. FLOOR AND WINDOW SUPPLIER RESPONSIBLE FOR LOCATING HARDWARE IN ACCESSIBLE UNIT TO BE LESS THAN 48" ABOVE FINISH FLOOR.
9. WINDOW SUPPLIER RESPONSIBLE FOR GLAZING WITHIN 24" OF COORDS TO BE TOLERANCE.
10. ALL LIGHTING FIXTURES, SWITCHES, AND OTHER DEVICES NOT NOTED IN PLAN ARE TO REMAIN. CONTRACTOR TO CONFIRM EXISTING SCHEDULE TO BE GROUNDING WHERE REQUIRED. PROVIDE NEW GROUNDING AT EXISTING SWITCHES AND OUTLETS.

REVISIONS - FLOOR PLANS	
Rev	Description

pinnacle
architecture, inc.

"ENHANCING LIVES AND COMMUNITIES"

1001 SW DISK DRIVE, SUITE 105
BEND OR 97702
541.386.9897
WWW.PINNACLEARCHITECTURE.COM



HOPE VILLAGE - PHASE O.C. 1 -
CASCADE HOUSE

CLIENT:
HOPE VILLAGE

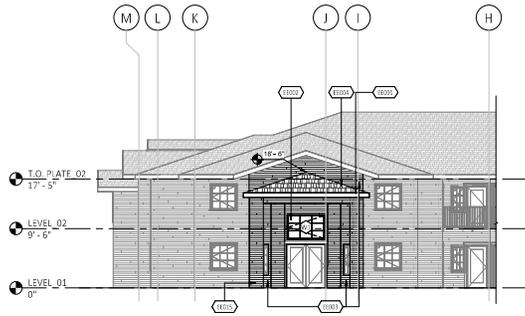
PROJECT ADDRESS:
1555 S IVY STREET, CANBY OR
97013

APPROVED FOR	DATE	BY
DESIGN REVIEW	05/26/2021	RYAN CAIN

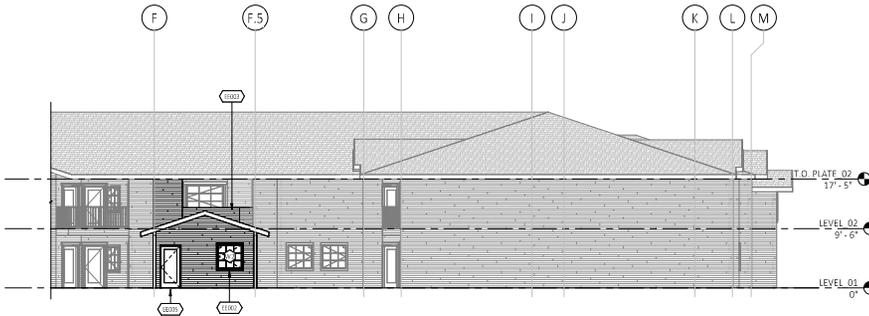
DESCRIPTION	DATE

PROJECT NO. 21011331
DRAWN BY: MIA COLEMAN
CHECKED BY: RYAN CAIN
© PINNACLE ARCHITECTURE, INC. 2021. PROJECT SHEET NO. 02/02

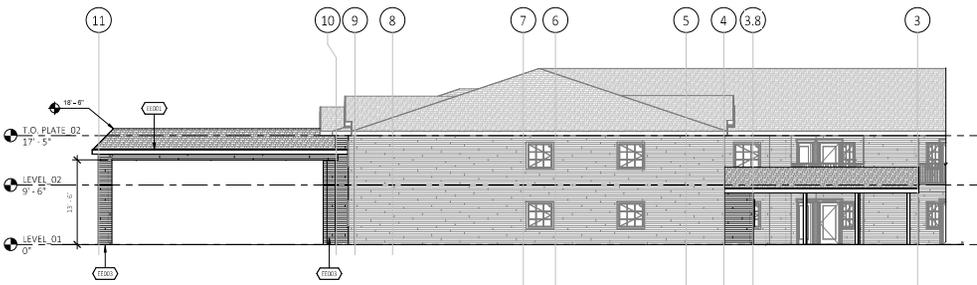
OVERALL FLOOR & FINISH FLOOR
PLAN - LEVEL 02



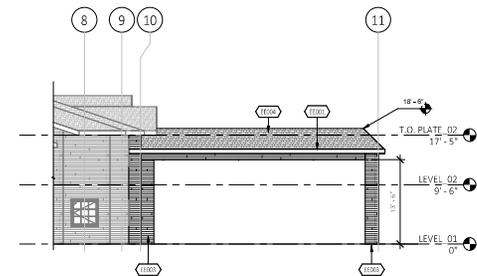
1 EAST ELEVATION
1/8" = 1'-0"



2 WEST ELEVATION
1/8" = 1'-0"



3 NORTH ELEVATION
1/8" = 1'-0"



4 SOUTH ELEVATION
1/8" = 1'-0"

GENERAL EXTERIOR ELEVATION NOTES

- GENERAL CONTRACTOR TO COORDINATE ALL EXTERIOR WALL MOUNT AND SOFFIT MOUNT EQUIPMENT TO ENSURE PROPER WEATHER TIGHT EXTERIOR ENCLOSURE.
- GENERAL CONTRACTOR TO COORDINATE AND MAINTAIN CONTINUOUS FLASHING AND WEATHER TIGHT DETAILS WITH RESPECT TO OPENINGS AND SOINGS.
- EXTERIOR FINISHES AND MATERIALS TO WRAP AROUND CORNERS AND ALCOVES WHERE OCCURS UNLESS NOTED OTHERWISE.
- PAINT NEW TRIM SURROUND EXPOSED CORNERS, JUNCTION ROSES AND OTHER VISIBLE MISCELLANEOUS METALS AND EQUIPMENT VISIBLE TO PUBLIC VIEW TO MATCH ADJACENT SOINGS COLOR UNLESS NOTED OTHERWISE.
- DO NOT PAINT PRE-FINISHED STEEL OR EQUIPMENT UNLESS NOTED SPECIFICALLY OTHERWISE.
- SEE SHEET AX-XX & AX-XX FOR TYPICAL TRIM AND PENETRATION DETAILS.
- SEE SHEET AX-XX FOR WOOD WINDOW BASIC DETAIL.

EXTERIOR ELEVATION LEGEND



EXTERIOR - EXTERIOR ELEVATIONS	
Key Value	Exterior Text
ELEV01	PERMANENT FINISH TRIM - COLOR TO MATCH ROOF
ELEV02	GLAZE FOR WINDOW REFER TO WINDOW SCHEDULE
ELEV03	NEW 4" LAP SIDING TO MATCH EXISTING TRIM COLOR (XX)
ELEV04	ASPHALT FLOORING TO MATCH EXISTING
ELEV05	100% SOLID COLOR POLYURETHANE PAINT (SEE WINDOW SCHEDULE)
ELEV06	NOT USED



1001 SW DISK DRIVE, SUITE 105
BEND OR 97702
541.388.9897
WWW.PINNACLEARCHITECTURE.COM



HOPE VILLAGE - PHASE O.C. 1 -
CASCADE HOUSE

CLIENT:
HOPE VILLAGE

PROJECT ADDRESS:
1555 S IVY STREET, CANBY OR
97013

APPROVED FOR	DATE	BY
DESIGN REVIEW	09/26/2025	RYAN CAIN

DESCRIPTION	DATE

PROJECT NO.: 25014 (13/24)
DRAWN BY: MARY JOU-BLANCK
CHECKED BY: RYAN CAIN

EXTERIOR ELEVATIONS

A210

9/26/2025 10:49 AM

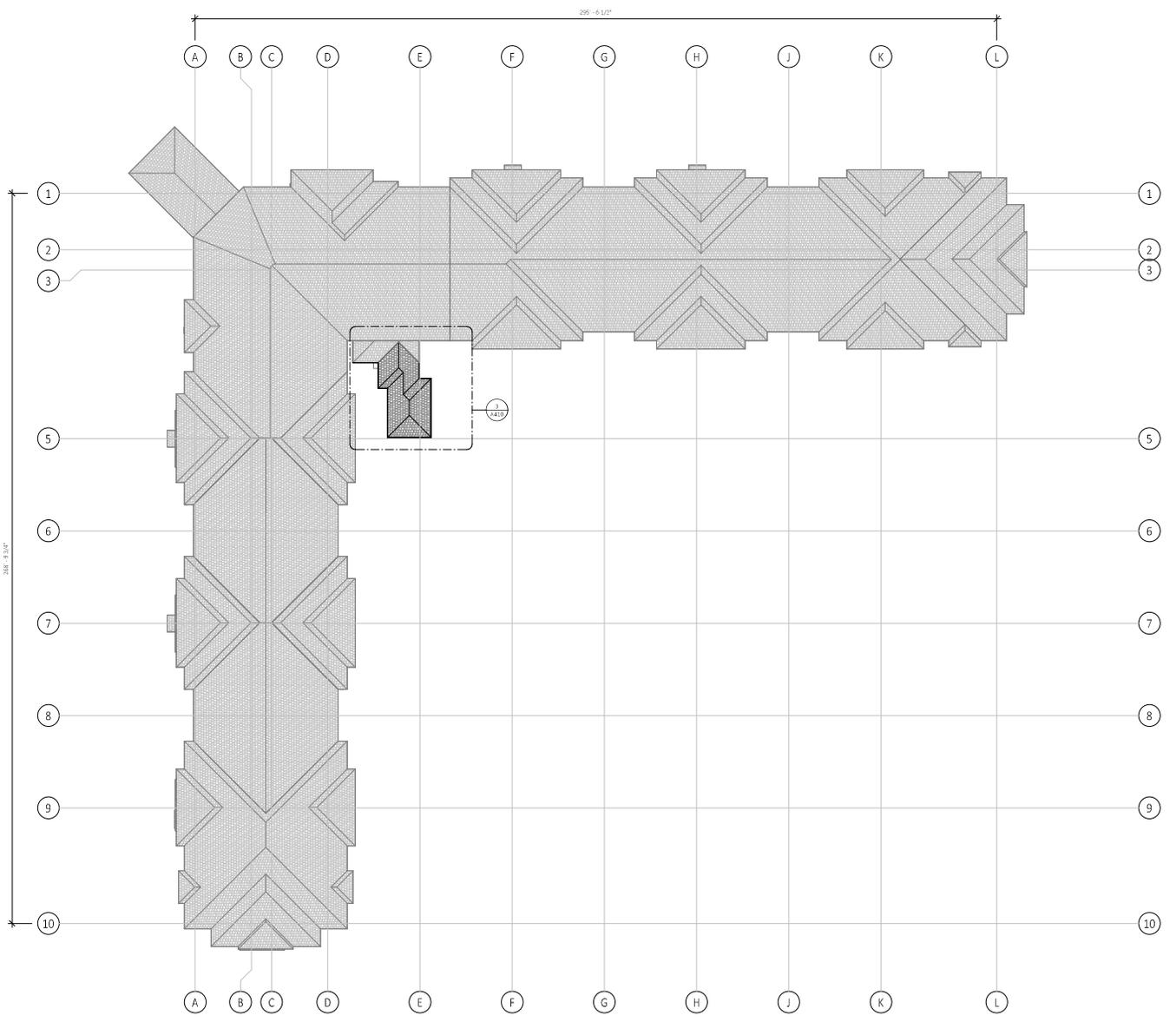
GENERAL ROOF PLAN NOTES

- SEE SHEET A6.10 FOR ROOF ASSEMBLIES

ROOF LEGEND

-  EX. PREEXISTING ROOF DOWNPOUT
-  EXISTING LOW-SLOPE SHINGLE ROOF
-  NEW ASPHALT SHINGLE ROOF
-  STANDING SEAM METAL ROOF

REVISEMENTS - ROOF PLAN	
Day/Value	Describe Text



1 OVERALL ROOF PLAN
1/16" = 1'-0"



pinnacle
architecture, inc.

"ENHANCING LIVES AND COMMUNITIES"

1001 SW DISK DRIVE, SUITE 105
BEND OR 97702
541.388.3897
WWW.PINNACLEARCHITECTURE.COM



HOPE VILLAGE - PHASE O.C. 1 - THE MEADOWS

CLIENT:
HOPE VILLAGE

PROJECT ADDRESS:
1546 FIR STREET, CANBY OR
97013

APPROVED FOR	DATE	BY
DESIGN REVIEW	09/26/2023	RYAN CAIN

DESCRIPTION	DATE

PROJECT NO.: 230113131
DRAWN BY: MIA GILBERT
CHECKED BY: RYAN CAIN
© PINNACLE ARCHITECTURE, INC. 2023. UNPUBLISHED WORK. 09/26/2023

OVERALL ROOF PLAN

A130



HOPE VILLAGE - PHASE O.C. 1 - THE MEADOWS
CLIENT:
HOPE VILLAGE
PROJECT ADDRESS:
1546 FIR STREET, CANBY OR
97013

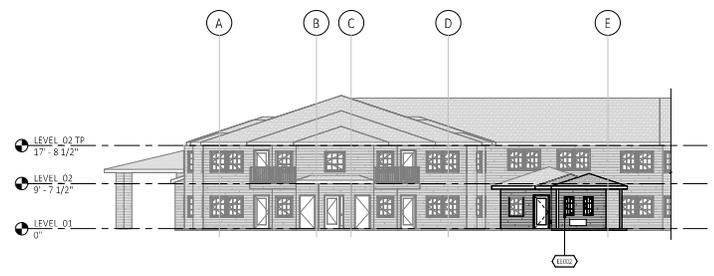
GENERAL EXTERIOR ELEVATION NOTES

1. GENERAL CONTRACTOR TO COORDINATE ALL EXTERIOR WALL MOUNT AND SOFT MOUNT EQUIPMENT TO ENSURE PROPER BRACKETS FIT ON EXTERIOR ENCLOSURE.
2. GENERAL CONTRACTOR TO COORDINATE AND MAINTAIN CONTINUOUS FLASHING AND FLASHING TIGHT DETAILS BY PROPER TOE DRESSING AND DRESS.
3. EXTERIOR FLASHING AND TRAP ARE TO BUMP AROUND CORNERS AND ALLEYS WHERE OCCURS UNLESS NOTED OTHERWISE.
4. PAINT NEW TRAIL FLASHING, EXPOSED CONDUIT, JUNCTION BOXES AND OTHER VISIBLE MISCELLANEOUS METALS AND EQUIPMENT VISIBLE TO PUBLIC VIEW TO MATCH ADJACENT FINISHES UNLESS NOTED OTHERWISE.
5. DO NOT PAINT THE FINISHED ITEMS UNLESS SPECIFICALLY NOTED OTHERWISE.
6. SEE SHEET A3.01 & A.04 FOR TYPICAL TRAIL AND FINISH TRAIL DETAILS.
7. SEE SHEET A3.XX FOR WWR WINDOW BASIC DETAIL.

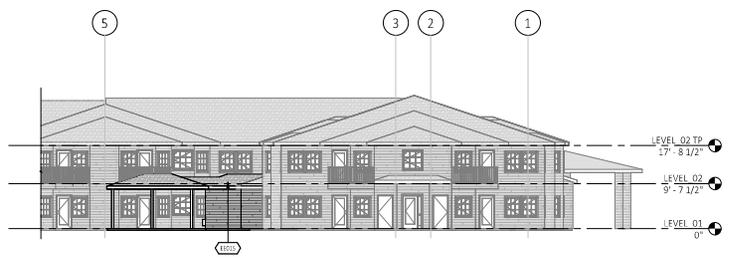
EXTERIOR ELEVATION MATERIAL LEGEND

-  CONCRETE BLOCK
-  SHAKE SHINGLES
-  MANUFACTURED STONE

REVISIONS - EXTERIOR DRAWINGS	
Rev No	Revised Text
E002	2025 FIN WINDOW
E003	ASTRAL DOORING



3 SOUTH ELEVATION
 $3/32" = 1'-0"$



2 EAST ELEVATION
 $3/32" = 1'-0"$

APPROVED FOR	DATE	BY
DESIGN REVIEW	09/26/2025	RYAN CAIN

DESCRIPTION	DATE

PROJECT NO.: 25011330
DRAWN BY: MARISSA BASTIEN
CHECKED BY: RYAN CAIN

© PINNACLE ARCHITECTURE, INC. 2025. UNPUBLISHED WORK. 3/27/2025

EXTERIOR ELEVATIONS

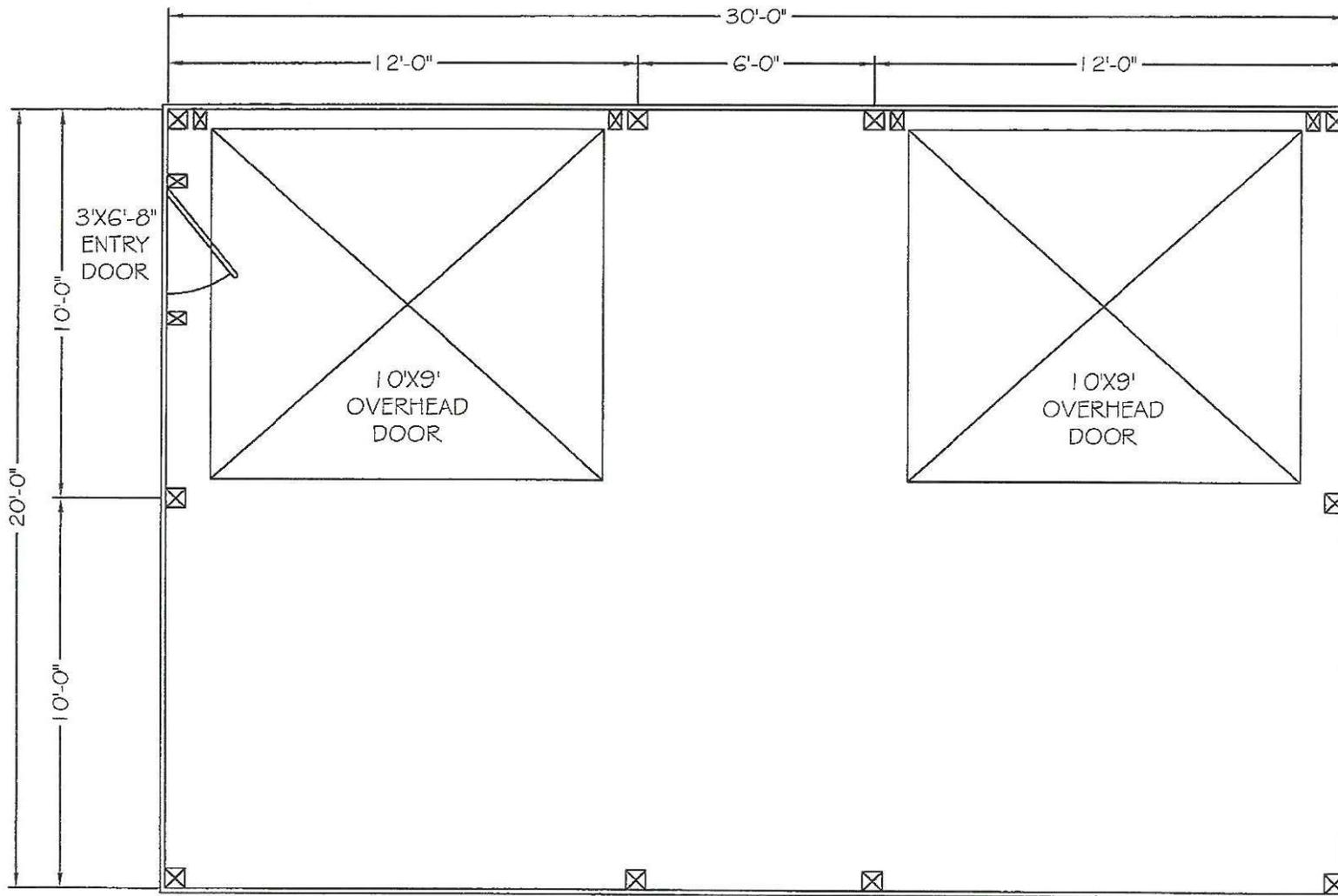
[Handwritten Signature]

9-30-25

CUSTOMER SIGNATURE

DATE

LOW SIDE



HIGH SIDE

PARKER HUBBARD,
BUILDINGS, INC. OREGON

1-800-331-0155 • LOCAL: (503) 981-0890 • FAX: (503) 982-2515
OREGON CCB No. 86204 • WASHINGTON CCB No. PARKERB1071D6

QUALITY POLE BUILDINGS SINCE 1982

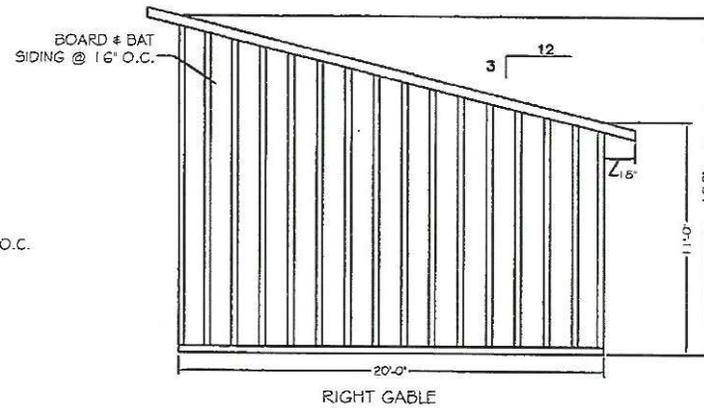
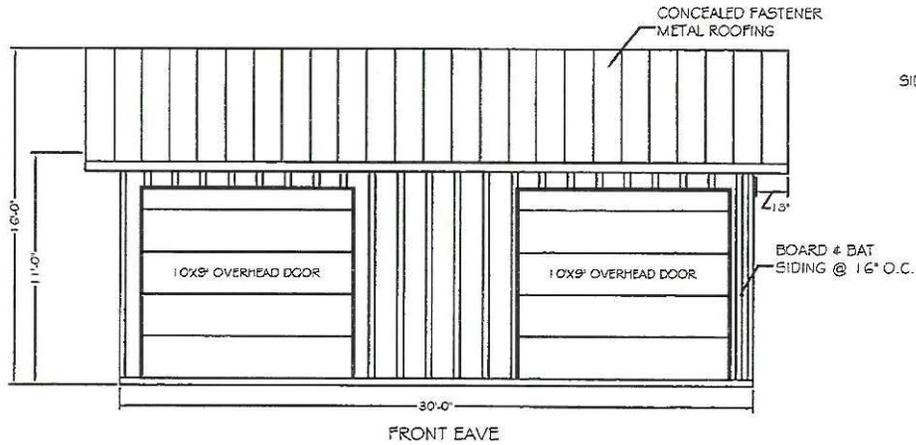
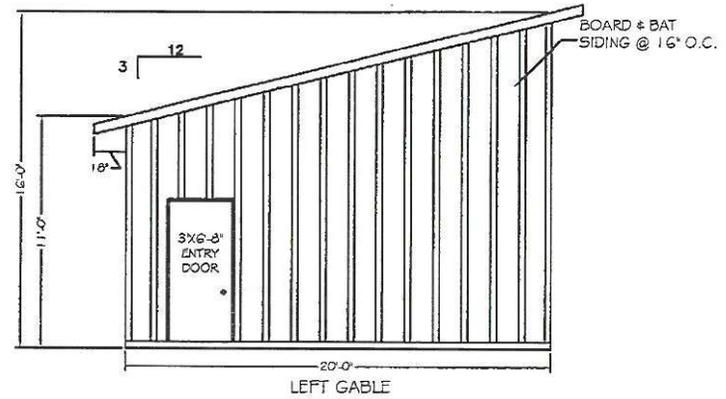
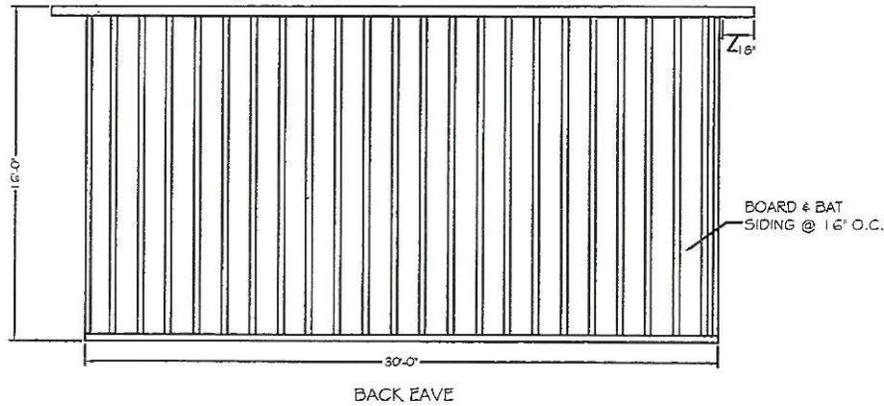
<http://www.parkerbuildings.com>

J J J

9-30-25

CUSTOMER SIGNATURE

DATE

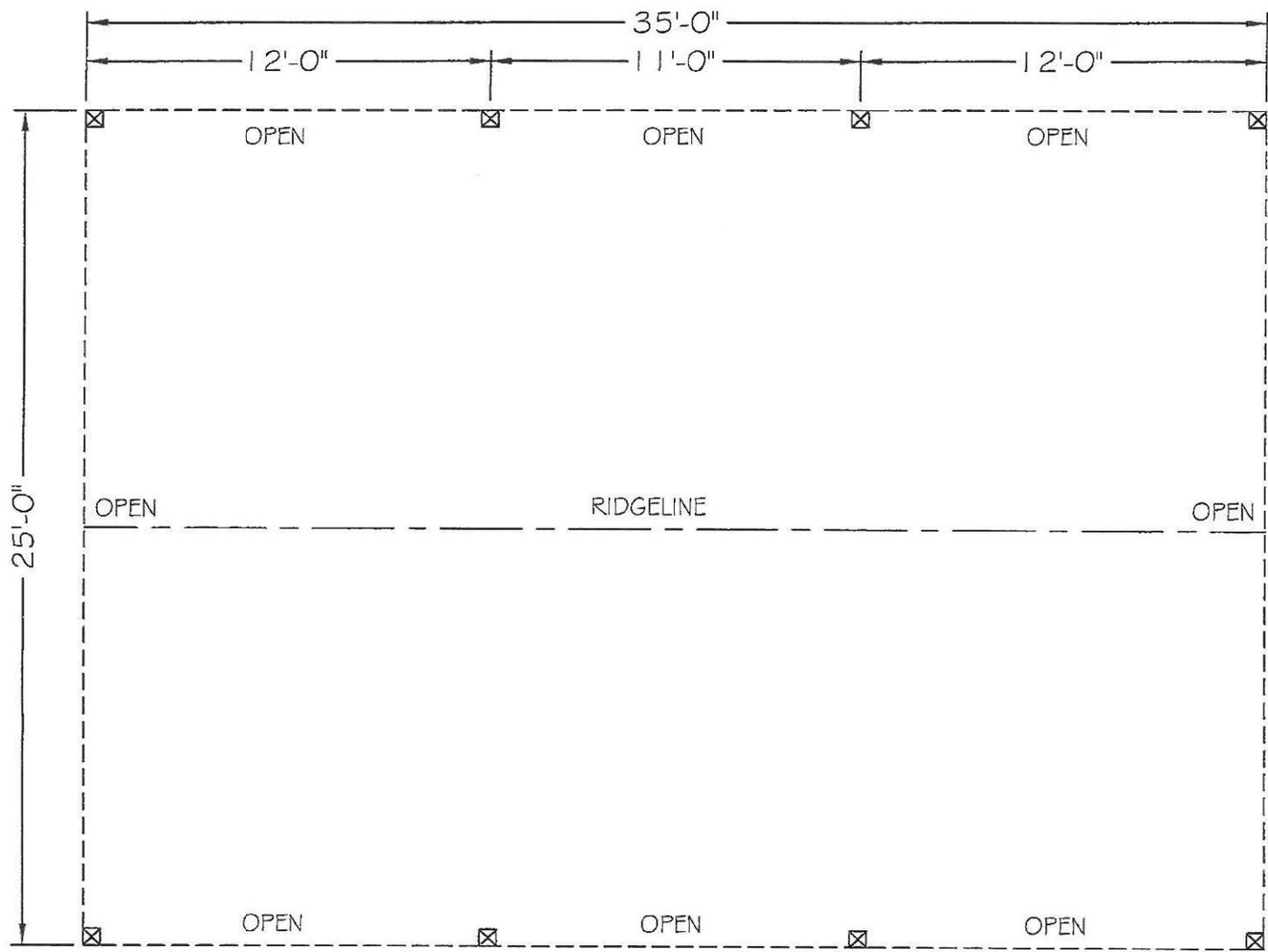


[Handwritten Signature]

9-30-25

CUSTOMER SIGNATURE

DATE



PARKER HUBBARD,
BUILDINGS, INC. OREGON

1-800-331-0155 • LOCAL: (503) 981-0890 • FAX: (503) 982-2515
OREGON CCB No. 86204 • WASHINGTON CCB No. PARKERB107106

QUALITY POLE BUILDINGS SINCE 1982

<http://www.parkerbuildings.com>

[Handwritten Signature]
CUSTOMER SIGNATURE

9-30-25
DATE

