# MAJ @ CANBY 'OSR' REMODEL

#### NOTE

A UTILITY LOCATE WAS CALLED FOR ON 06-08-2023 UNDER TICKET NUMBER 23160787. THE UNDERGROUI UTILITIES AS SHOWN HEREON ARE AS MARKED AT THE TIME OF THIS SURVEY. UNDERGROUND UTILITY LOCATIONS INES BETWEEN SURFACE LOCATIONS BUT MAY CONTAIN BENDS OR CURVES NOT SHOWN. SOME UNDERGROUND LOCATIONS HEREON MAY HAVE BEEN TAKEN FROM PUBLIC RECORDS. M.G.S. ASSUME NO LIABILITY FOR THE ACCURACY OF PUBLIC RECORDS

#### DATUM

VERTICAL DATUM: NAVD 88 (GEOID 2012A) BASED ON OPUS SOLUTION TO MINISTER AND GLAESER CONTROL POINT NO. 50.

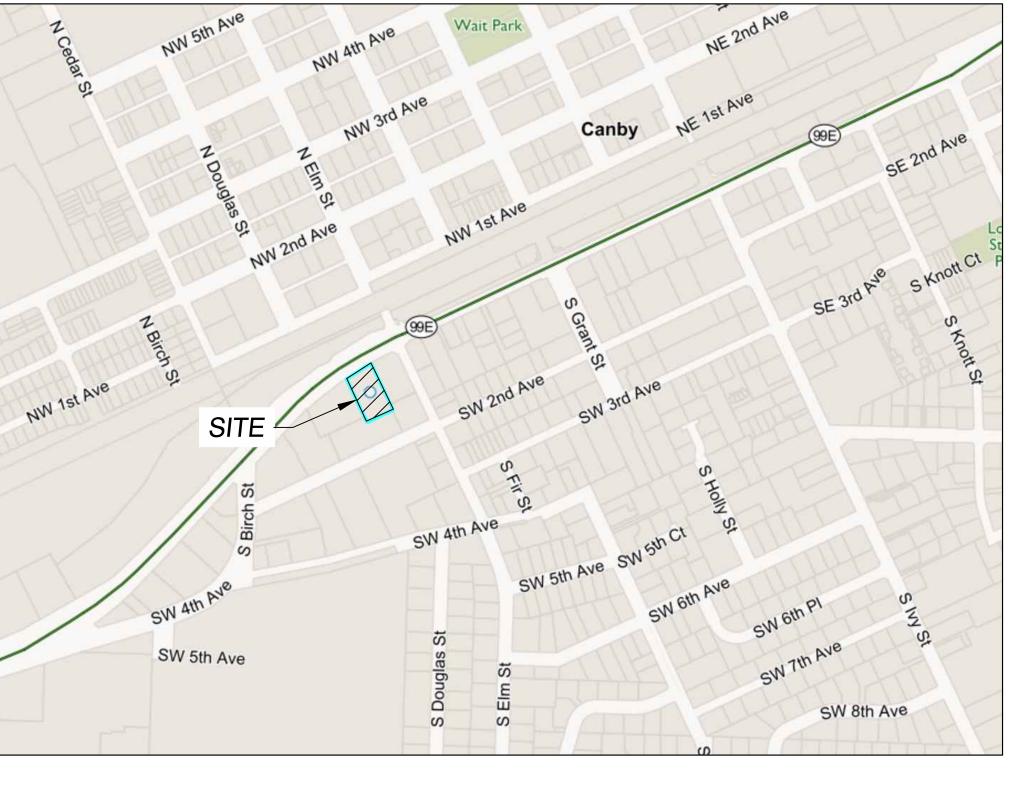
HORIZONTAL DATUM: NAD 83 (2011) (EPOCH:2010.000) OREGON STATE PLANE COORDINATE SYSTEM, NORTH ZONE, INTERNATIONAL FEET. BASED ON OPUS SOLUTION TO MGS CONTROL POINT NO. 50



CALL 2 BUSINESS DAYS BEFORE YOU DIG -800-424-5555 "It's the Law"



## SW QTR, SECTION 33 TOWNSHIP 3S, RANGE 1E W.M.





	SHEET LIST TABLE
SHEET #	SHEET TITLE
C1.0	COVER SHEET
C2.0	EXISTING CONDITIONS SURVEY
C3.0	DEMOLITION PLAN
C4.0	PAVING & GRADING PLANS
C5.0	SANITARY SEWER PLAN
C1.0	EROSION CONTROL & TRANSPORTATIOIN COC DETAILS
C1.0	ODOT TRANSPOTRATION STD. DETIALS
C1.0	SIGNING AND STRIPING PLAN
SP1.0	SITE PLAN
LS1.0	LANDSCAPE PLAN



APPLICANT:	ENGINEER:
MAJ, L.L.C.	MACKAY SPOSITO
300 WEST 15TH STREET STE 200,	18405 SE MILL PLAIN BLVD.
VANCOUVER, WA. 98660	VANCOUVER, WA. 98683
PH: (360) 823-5125	PH: (360) 695-1385
FX: N/A	FX: N/A
CONTACT: MIKE JENKINS	CONTACT: PETER TUCK
EMAIL: mikej@majdevelopments.cor	m EMAIL:ptuck@mackaysposito.com

LEGE	IND	
	— PERIMETER OF SITE	
	— CENTERLINE OF ROAD	
	FACE OF CURB	
	LOT LINE	
	EASEMENT LINE	
STM	STORM SEWER LINE	
· — — — STM — — –	EXIST STORM SEWER	
SAN	SANITARY SEWER LINE	
SAN	EXIST SANITARY SEWER	
———— W ————	WATER SERVICE LINE	
W		
———— 123 ————	GRADED CONTOUR LINE	
- — — — 123 — — —	EXIST CONTOUR LINE	
MANHOLE	WATER SERVICE METER	
$\otimes$ water valve and box		
$\bigcirc$ FIRE HYDRANT ASSEMBLY	GAS RISER	
CATCH BASIN		
A THRUST BLOCK		
	SIGN POST	

S cKay EXPIRES: 6/30/2024

10/31/2023

CANBY 'QSR' REMOD CANBY, CLACKAMAS MAJ

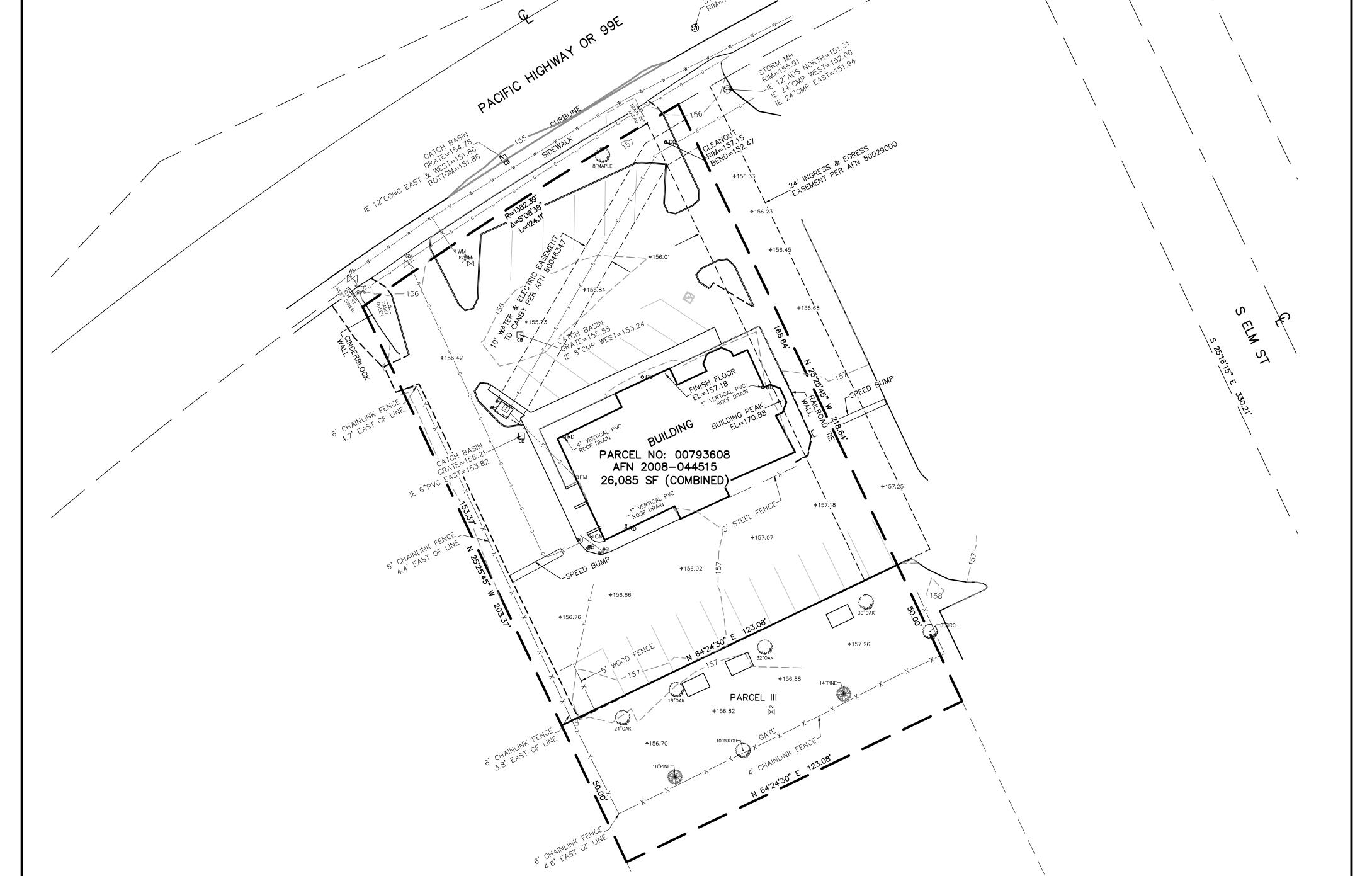
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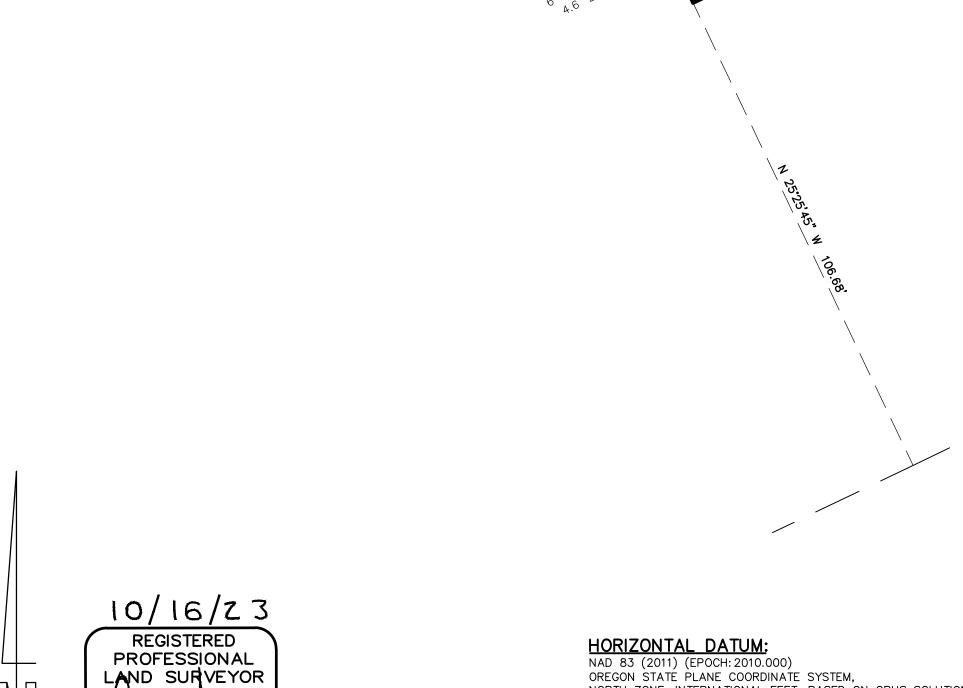
REVISIONS:	
JOB NO.:	1824
DATE:	10/31/2023
SCALE:	N/A
DESIGNED BY:	AAI
DRAWN BY:	AAI
CHECKED BY:	PA

MAJ @ CANBY 'QSR' REMODEL

C1.0

#### **EXISTING CONDITIONS** SURVEY IN THE PHILANDER LEE D.L.C. IN THE SW 1/4 OF THE SW 1/4 OF SECTION 33 T. 3 S., R. 1 E., LEGEND: PARCEL NUMBER: 00793608 wv M INDICATES WATER VALVE 597 SW 1ST AVE , , , , INDICATES FIRE HYDRANT CITY OF CANBY, 97013 INDICATES WATER METER 🗆 WM сv INDICATES CONTROL VALVE CLACKAMAS COUNTY, OREGON GV INDICATES GAS VALVE INDICATES GAS METER ⊡ GM + 250.00' INDICATES SPOT ELEVATION INDICATES SIGN INDICATES CLEANOUT **o** CO INDICATES CATCH BASIN ଟ୍ର INDICATES STORM SEWER MANHOLE INDICATES ROOFDRAIN/DOWNSPOUT o RD INDICATES ELECTRIC METER ⊡EM Т INDICATES TRANSFORMER INDICATES BOLLARD INDICATES EVERGREEN TREE WITH TRUNK DIAMETER AND TYPE 12"FIR INDICATES DECIDUOUS TREE WITH TRUNK DIAMETER AND TYPE 12"MAPLE -INDICATES EDGE OF CONCRETE -INDICATES 5 FOOT INTERVAL CONTOUR -----INDICATES 1 FOOT INTERVAL CONTOUR





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OREGON SEPTEMBER 12, 2017 CHRISTOPHER S. AVERY 90176

SCALE 1 INCH = 20 FEET

20

30

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20

10 0

NAD 83 (2011) (EPOCH: 2010.000) OREGON STATE PLANE COORDINATE SYSTEM, NORTH ZONE, INTERNATIONAL FEET. BASED ON OPUS SOLUTION TO MGS CONTROL POINT NO. 50.

VERTICAL DATUM: NAVD 88 (GEOID 2012A) BASED ON OPUS SOLUTION TO MGS CONTROL POINT NO. 50.

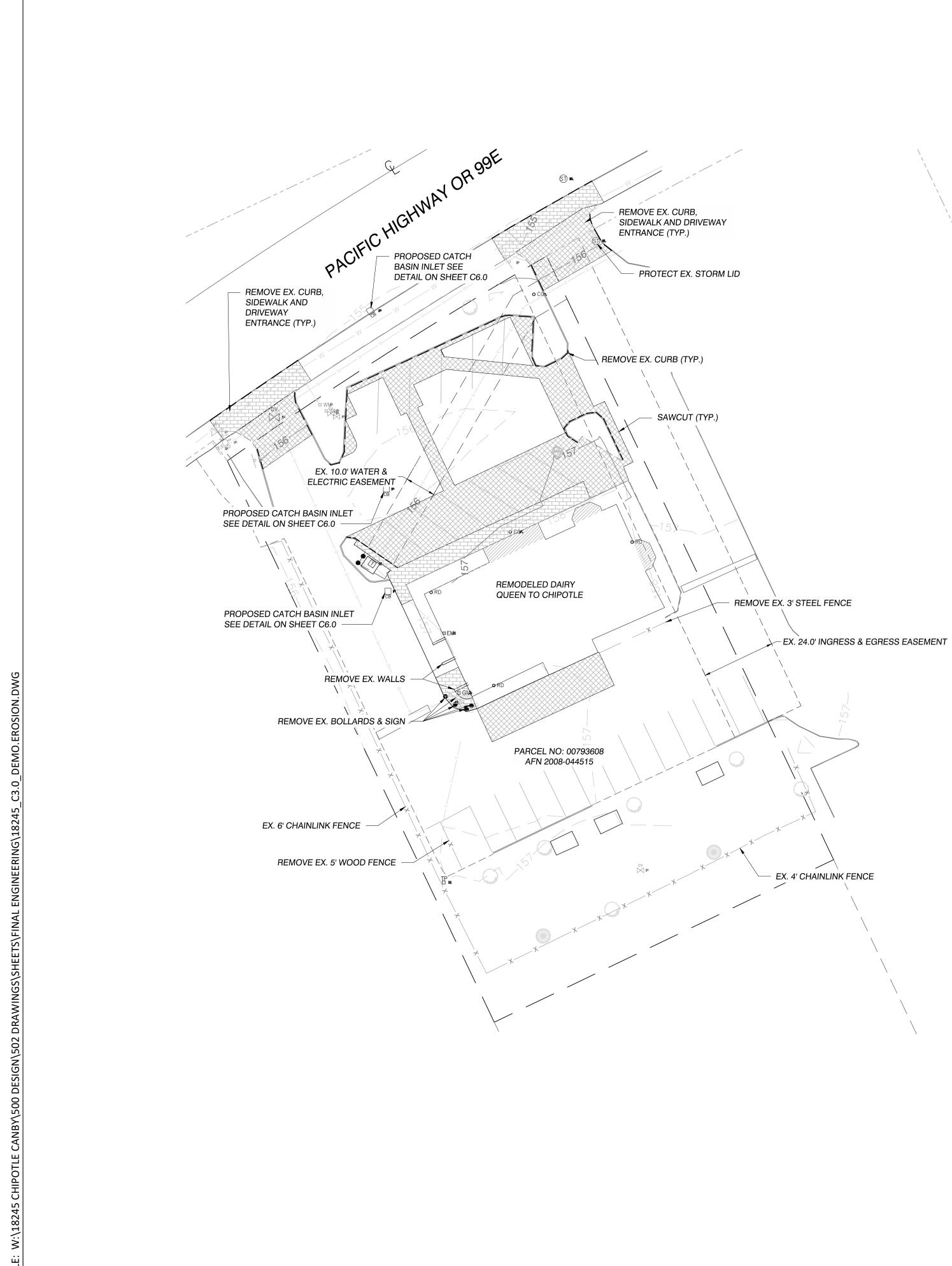
#### UTILITY LOCATES:

A UTILITY LOCATE WAS CALLED FOR ON 06/08/23 UNDER TICKET NUMBER 23160787. THE UNDERGROUND UTILITIES AS SHOWN HEREON ARE AS MARKED AT THE TIME OF THIS SURVEY. UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY. UNDERGROUND CONNECTIONS ARE SHOWN AS STRAIGHT LINES BETWEEN SURFACE LOCATIONS BUT MAY CONTAIN BENDS OR CURVES NOT SHOWN. SOME UNDERGROUND LOCATIONS HEREON MAY HAVE BEEN TAKEN FROM PUBLIC RECORDS. M.G.S. ASSUMES NO LIABILITY FOR THE ACCURACY OF PUBLIC RECORDS.



SW 2ND AVE

DRAWING FILE: 23117T1.DWG





## EROSION CONTROL LEGEND

 — 100 — —	
 100	

EXISTING GRADE CONTOUR FINISHED GRADED CONTOUR REMOVE EXISTING CURB ASPHALT REMOVED

CONCRETE REMOVED

BUILDING REMOVED (SEE ARCHITECTURAL PLANS)

#### EROSION CONTROL NOTES:

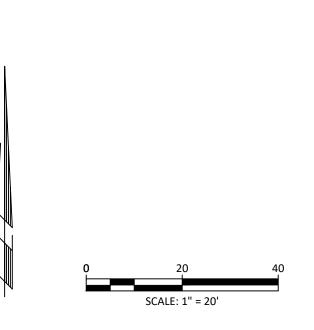
- STORMWATER GENERAL PERMIT AND THE CITY OF CANBY.
- DEMOLITION, OR OTHER GROUND DISTURBING ACTIVITIES.
- MATERIAL & DEBRIS AT ALL TIMES.
- SHALL BE MADE IN ACCORDANCE WITH CITY OF CANBY.
- WHEN SUBJECT TO EXCESSIVE MOISTURE.

#### GRADING NOTES:

- OF FINISHED GRADE SURFACE.

#### **DEMOLITION NOTES:**

- SIGNIFICANTLY DIFFERENT FROM PLANS.



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EXPIRES: 6/30/2024 10/31/2023

1. EROSION AND SEDIMENT CONTROL SHALL BE PER THE REQUIREMENTS OF THE EROSION AND CONTROL CONSTITUTION

2. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO COMMENCING CLEARING AND GRUBBING, GRADING,

3. THE CONTRACTOR SHALL ENSURE THAT THE EXISTING SIDEWALKS REMAIN CLEAR & FREE FROM CONSTRUCTION

4. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF CANBY. ALL CHANGES

5. SIGNIFICANT VARIATION AND DEGREE OF EROSION CONTROL EFFORT WILL BE DICTATED BY WEATHER CONDITIONS. THE DEVELOPER AND CONTRACTOR SHOULD BE PREPARED TO PROVIDE EXTRA EROSION CONTROL, PROVISIONS AND EFFORT DURING WINTER AND WET WEATHER CONDITIONS BEYOND THAT NORMALLY REQUIRED DURING SUMMER AND DRY WEATHER CONDITIONS. FINE GRAINED AND UNCONSOLIDATED SOILS ON SLOPING SITES MAY BECOME UNSTABLE

1. EXISTING CONTOURS SHOWN ARE TO EXISTING GROUND SURFACE. FINISHED GRADE CONTOURS SHOWN ARE TO TOP

2. ANY UNSUITABLE MATERIAL TO BE EXCAVATED AND REMOVED FROM THE SITE.

1. CONTRACTOR TO CALL UTILITY NOTIFICATION CENTER AT 811 AND HAVE ALL EXISTING UTILITIES LOCATED PRIOR TO BEGINNING ANY DEMOLITION OR CONSTRUCTION ACTIVITIES.

2. LOCATION AND ELEVATIONS OF EXISTING UTILITIES ARE BASED ON MGS SURVEY CONDUCTED ON SITE. CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER IF

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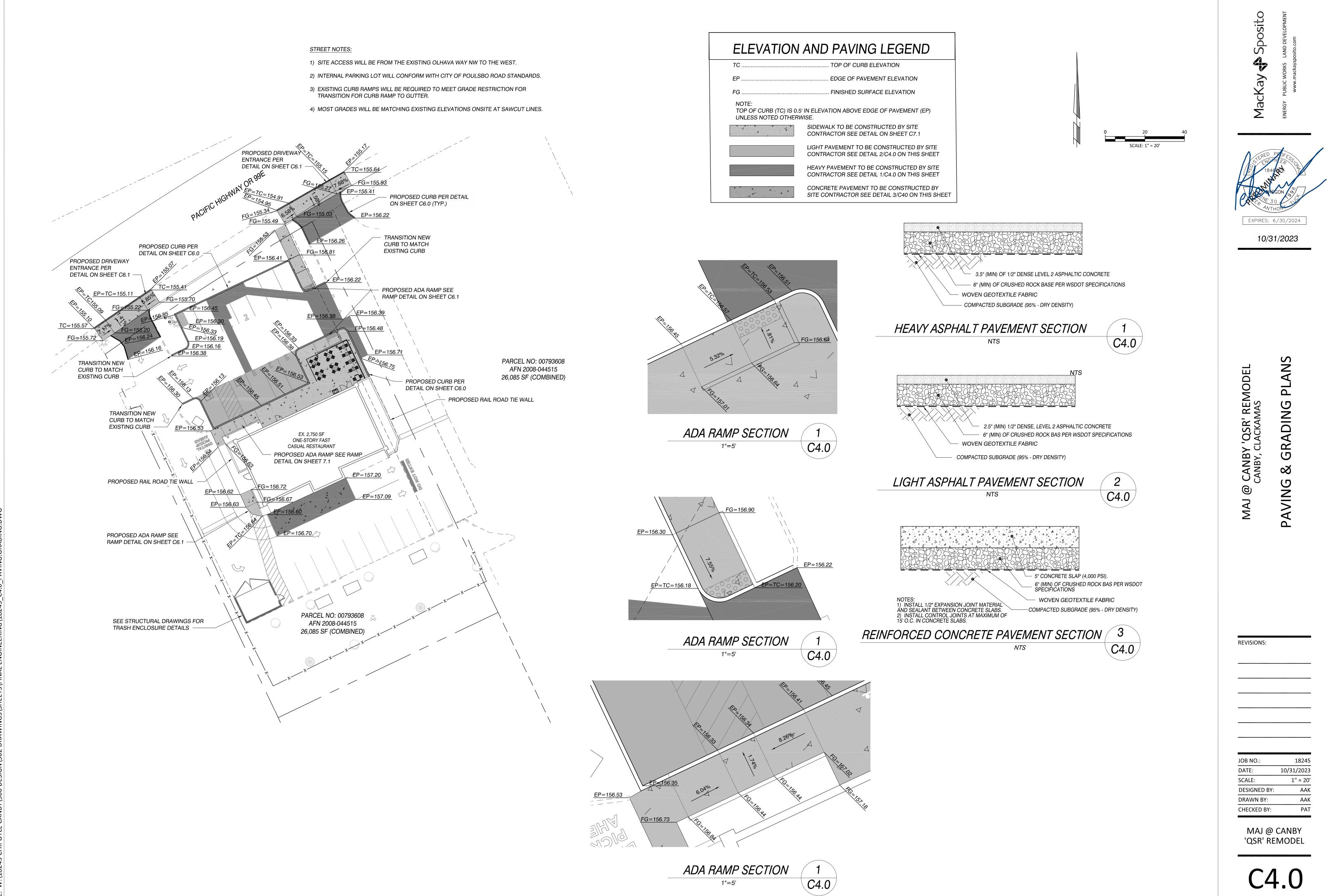
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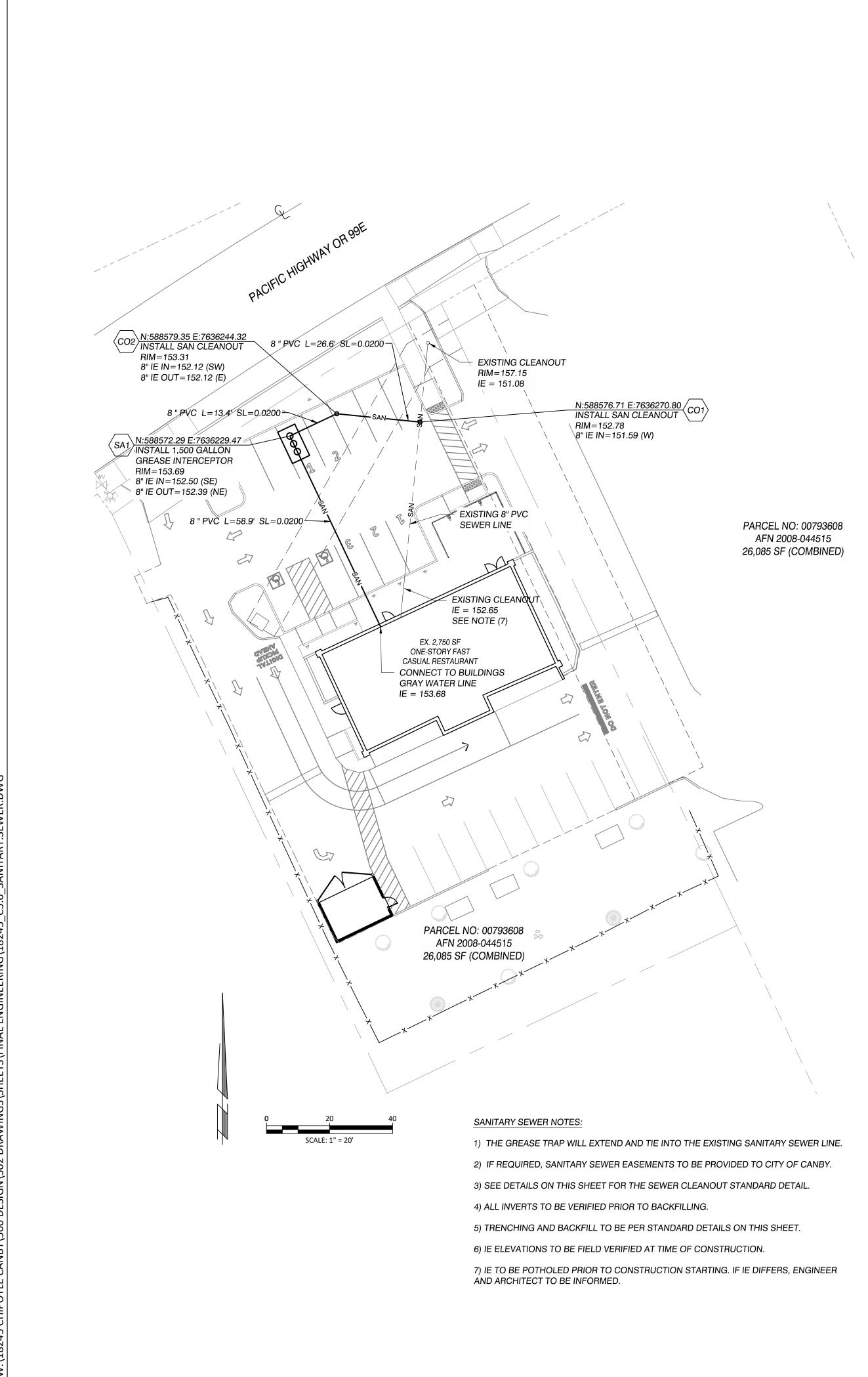
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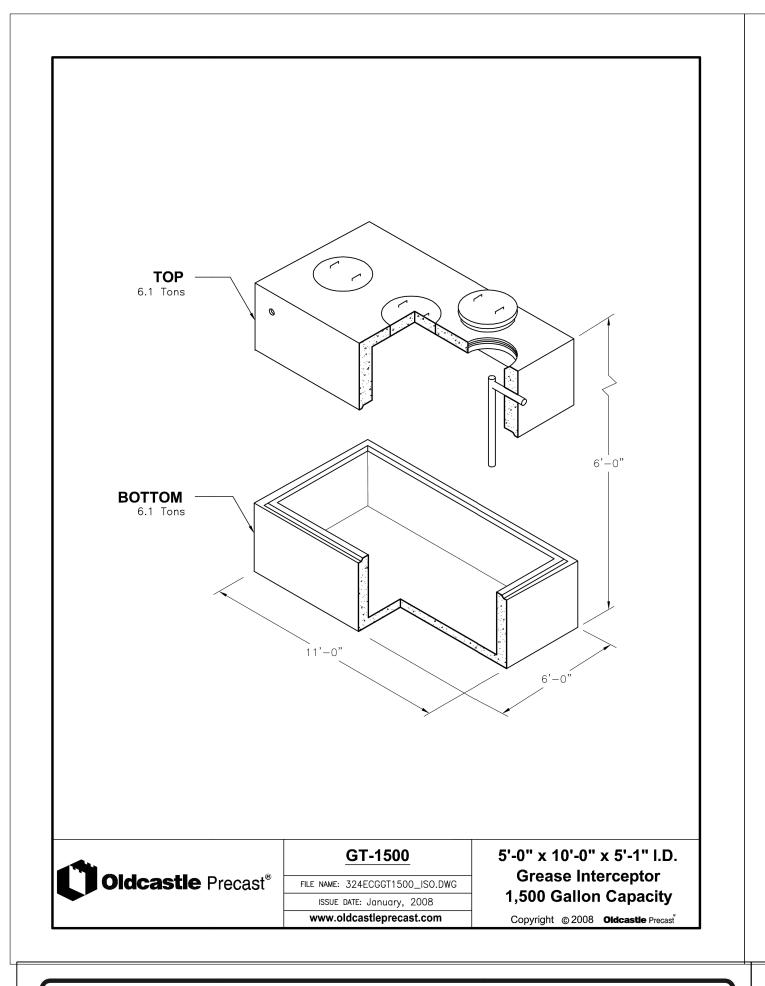
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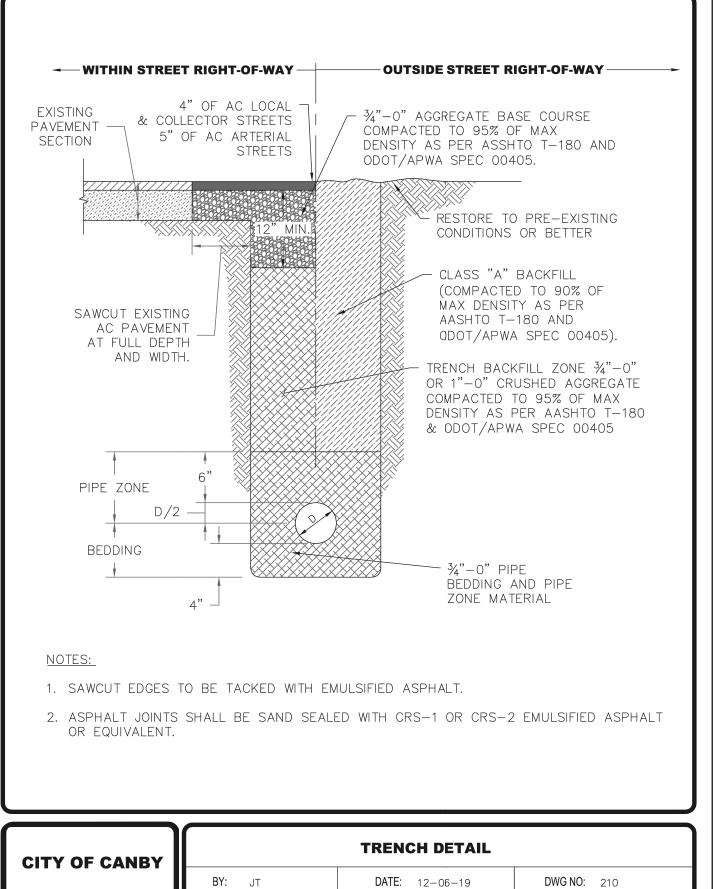
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JOB NO.:	18245
DATE:	10/31/2023
SCALE:	1" = 20'
DESIGNED BY:	AAK
DRAWN BY:	AAK
CHECKED BY:	РАТ

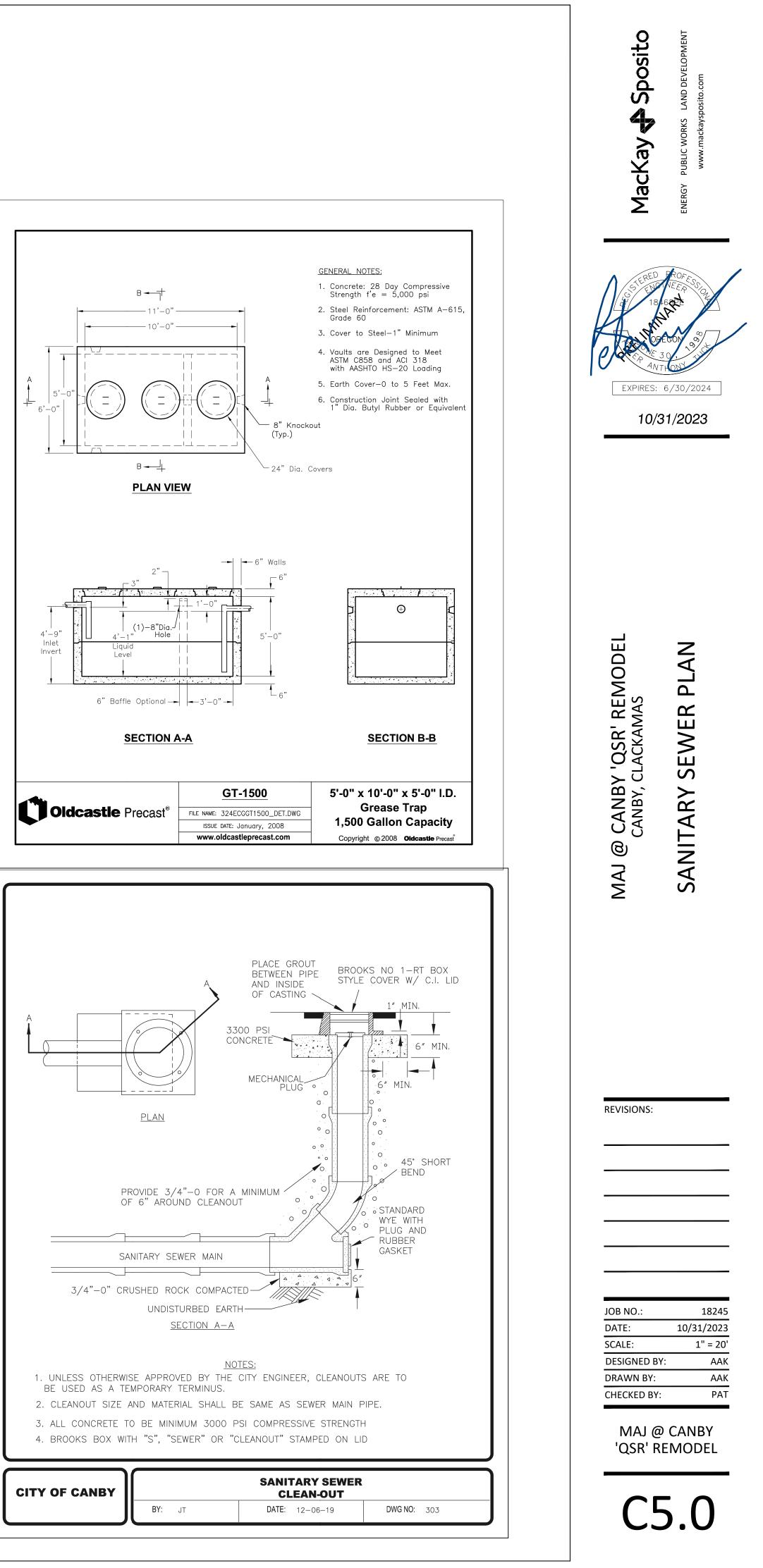
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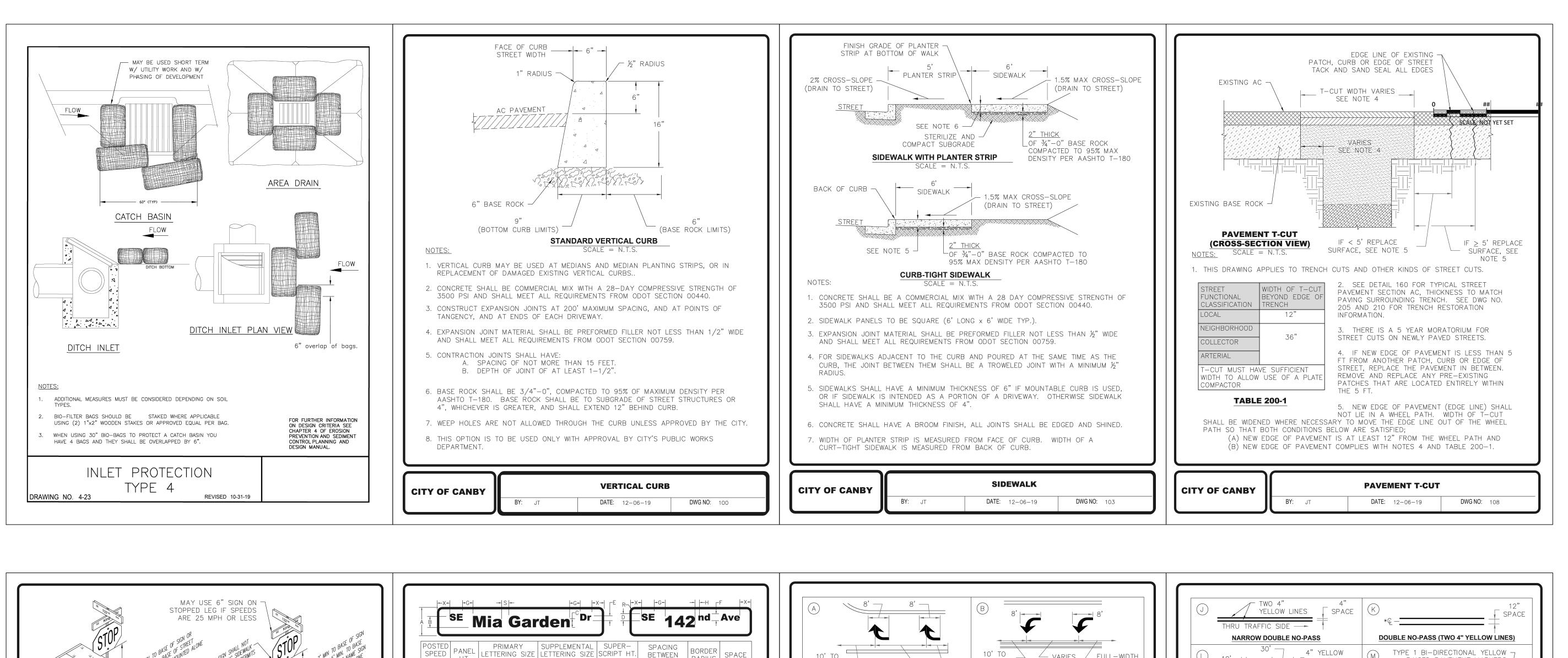


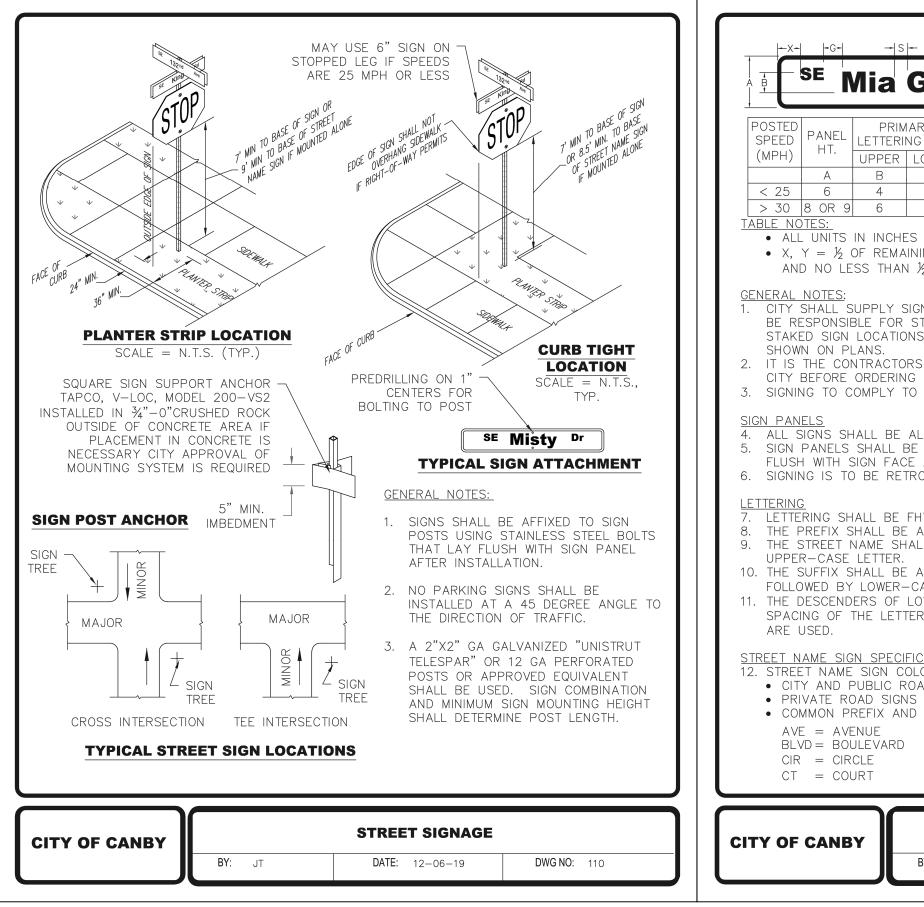




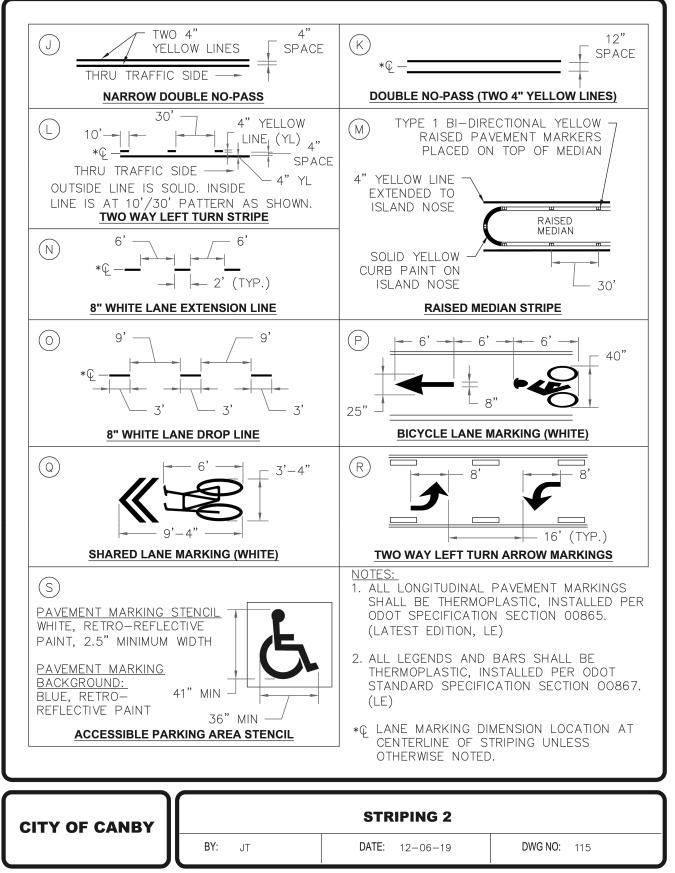








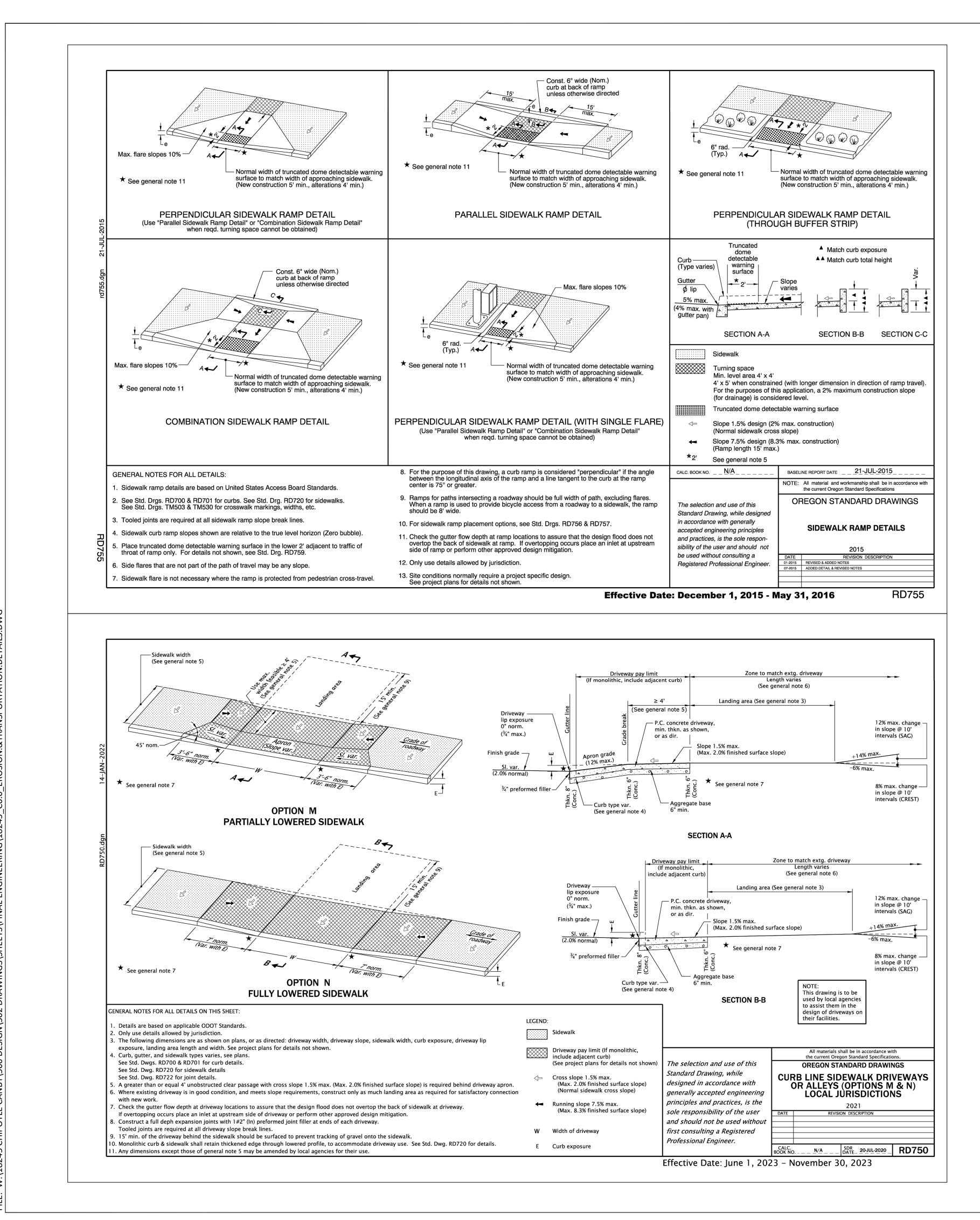
C D 3 2½	SIZE SCRIPT HT.	SPACING BETWEEN CHARACTEF G H 1½ ½ 2½ ¾	R 1½	SPACE S % B % B	10' TO STOP BAR VARIES 10' CENTER ARROW IN TURN LANE. SEE MUTCD FOR DETAILS. RIGHT TURN LANE MARKINGS	10' TO VARIES FULL-WIDTH STOP BAR VARIES FULL-WIDTH TURN LANE CENTER ARROW IN TURN LANE. SEE MUTCD FOR DETAILS. LEFT TURN LANE MARKINGS
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HWA SERIES C AT	100% WIDTH UNI	ESS SPENIE	FD OTHERW		DRAWING TM530. <u>12" STOP BAR</u>	4" WHITE OR YELLOW LINE
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MAJ @ CANBY 'QSR' REMODEL

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10/31/2023

SCALE: NOT YET SE

**ODOT TRANSPOTRATION STD. DETIA** 

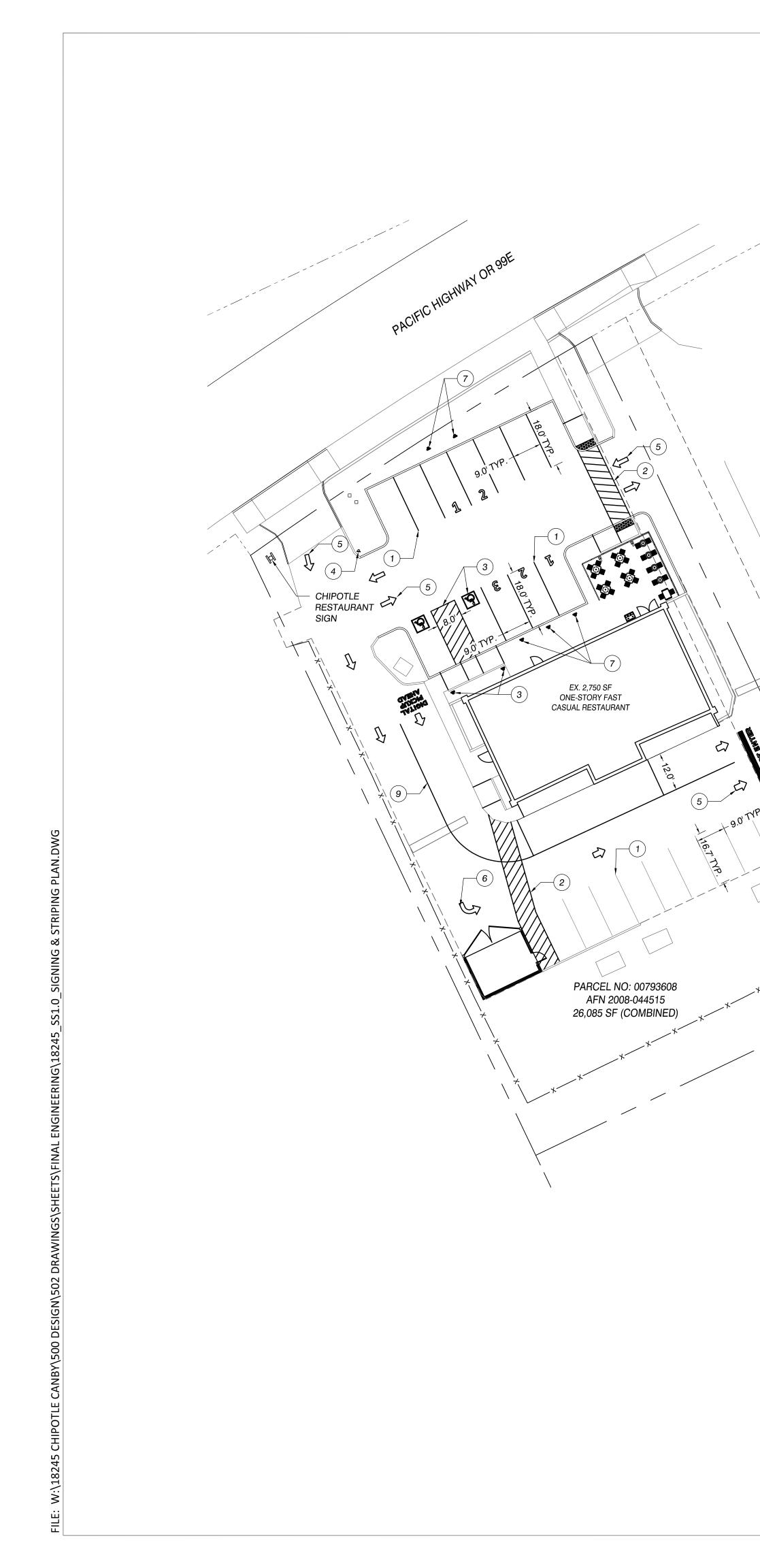
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MAJ @ CANBY 'QSR' REMODEI CANBY, CLACKAMAS

REVISIONS:	
JOB NO.:	1824
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DESIGNED BY:	AA
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CHECKED BY:	PA

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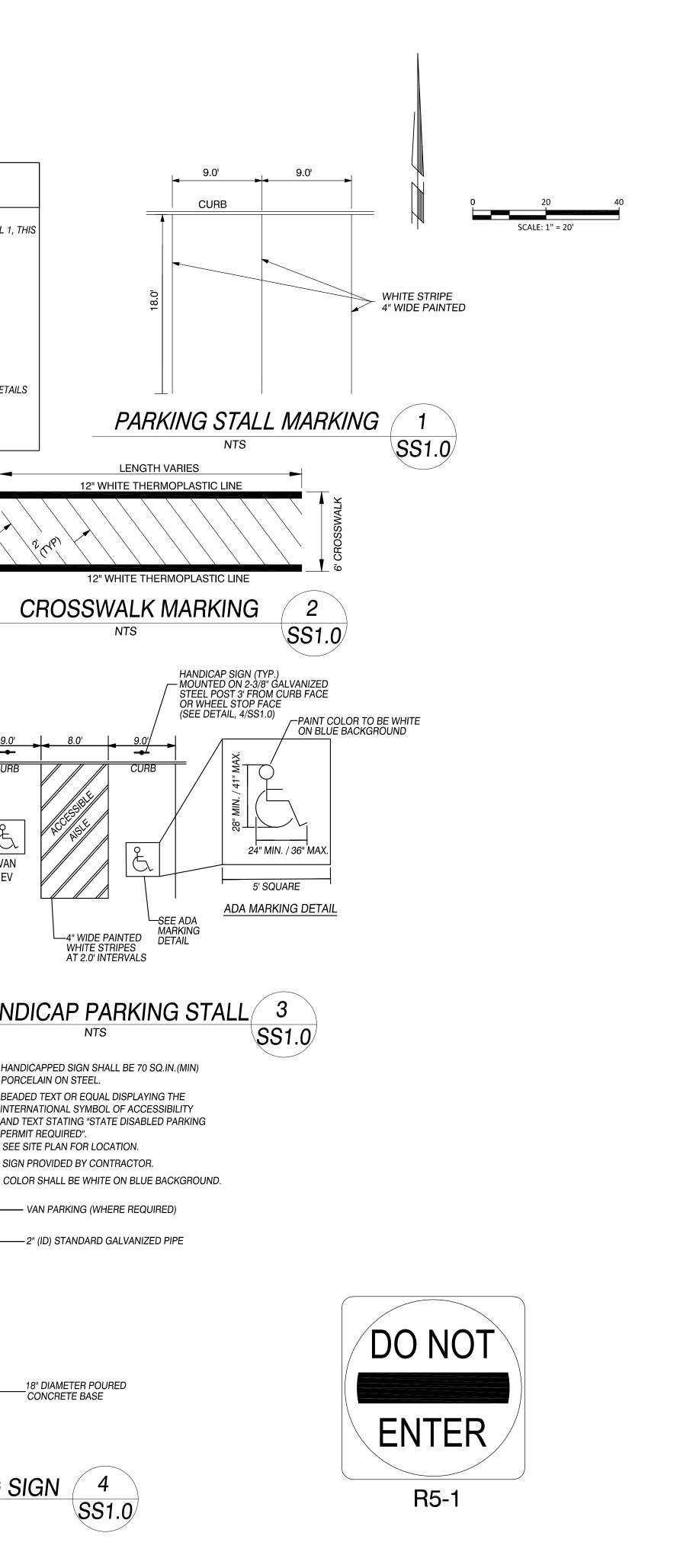
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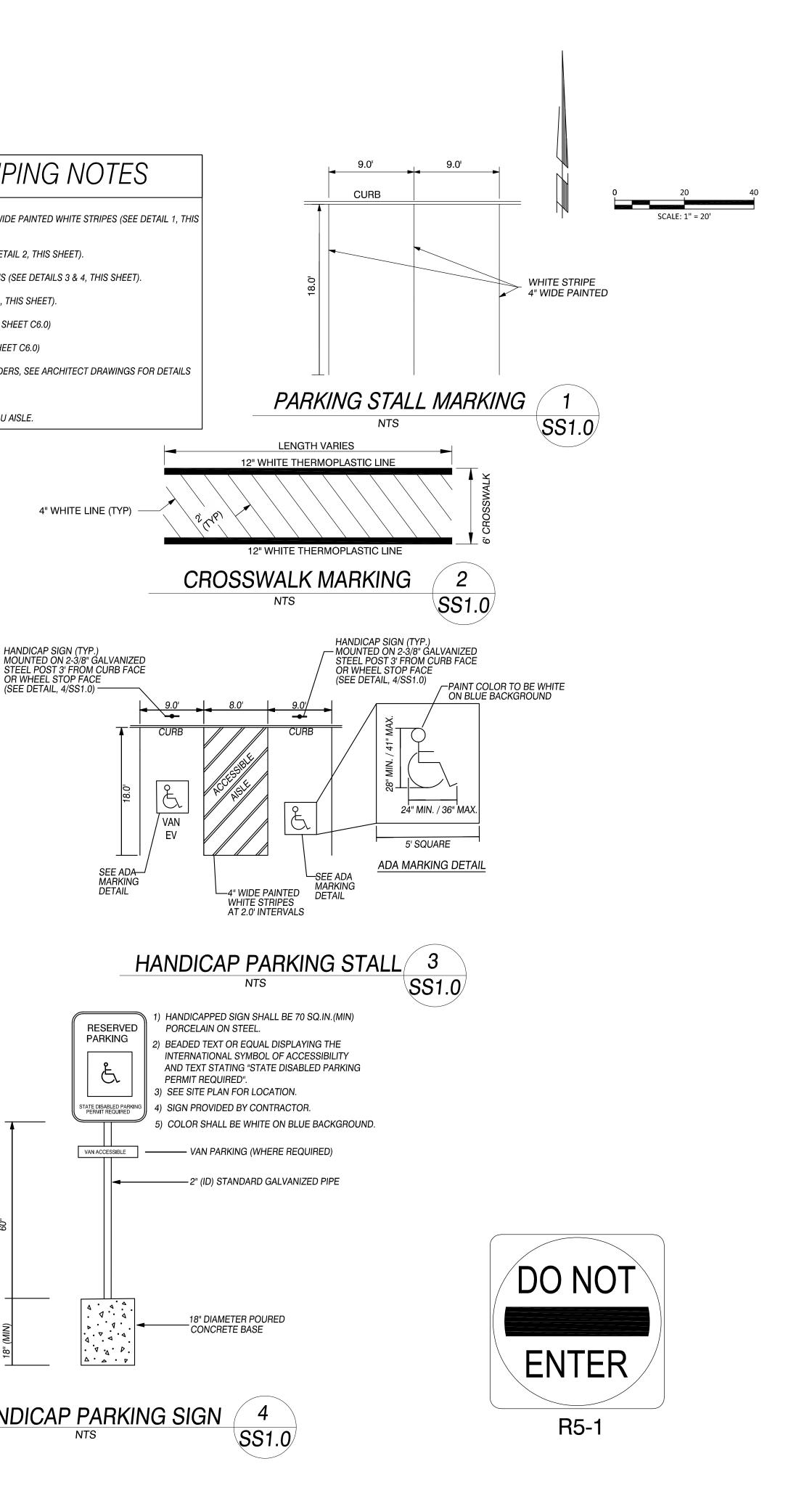


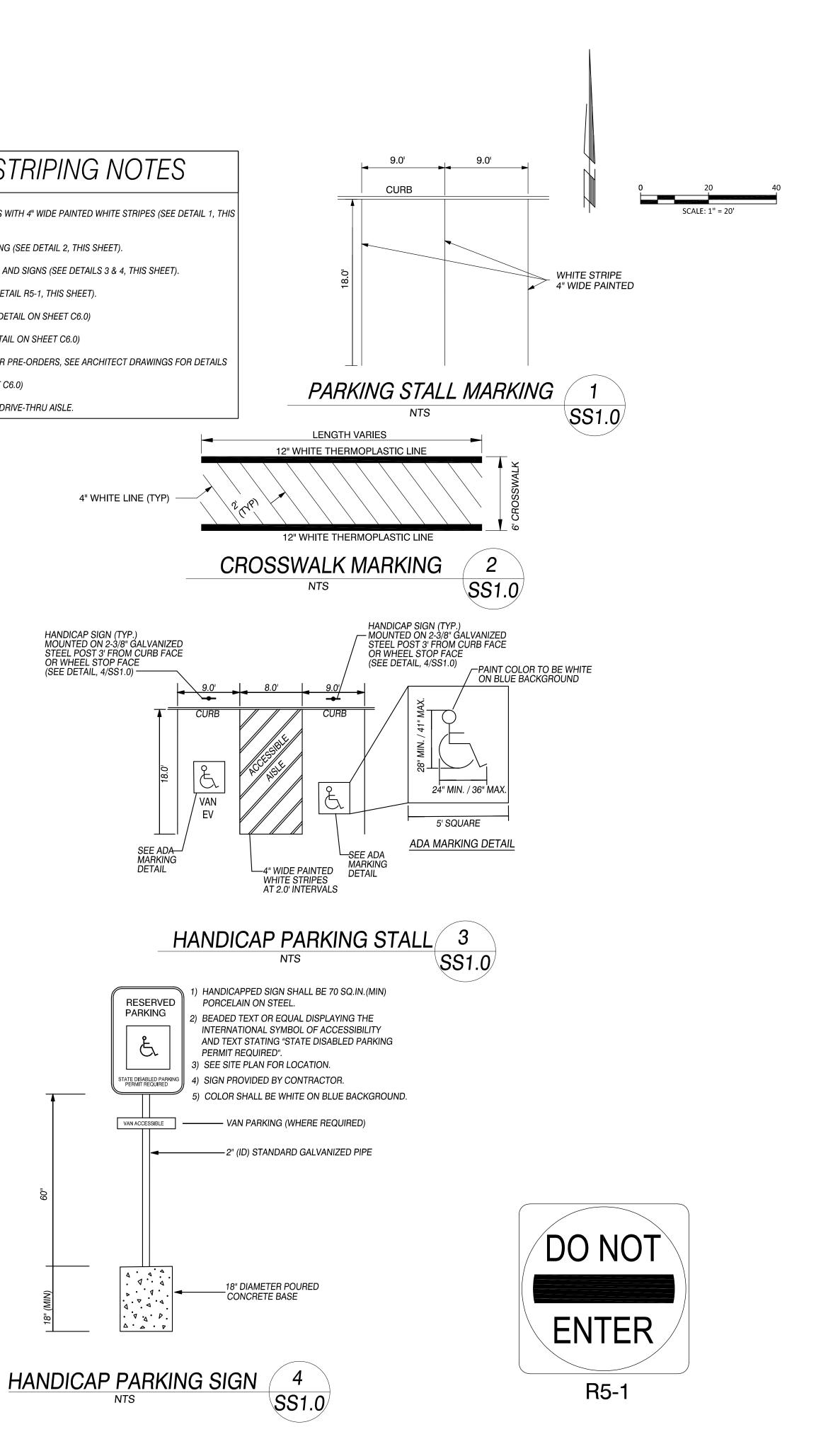
## SIGNING AND STRIPING NOTES

- (1) INSTALL STANDARD PARKING STALLS WITH 4" WIDE PAINTED WHITE STRIPES (SEE DETAIL 1, THIS SHEET).
- (2) INSTALL 6' WIDE CROSSWALK MARKING (SEE DETAIL 2, THIS SHEET).
- (3) INSTALL HANDICAP PARKING STALLS AND SIGNS (SEE DETAILS 3 & 4, THIS SHEET).
- (4) INSTALL DO NOT ENTER SIGN (SEE DETAIL R5-1, THIS SHEET).
- (5) INSTALL DIRECTIONAL ARROW (SEE DETAIL ON SHEET C6.0)
- 6. INSTALL LEFT TURN ARROW (SEE DETAIL ON SHEET C6.0)
- 7. WAITING/PICKUP STALLS & SIGNS FOR PRE-ORDERS, SEE ARCHITECT DRAWINGS FOR DETAILS
- 8. 12" STOP BAR (SEE DETAIL ON SHEET C6.0)
- (9.) 4" WIDE PAINTED WHITE STRIPE FOR DRIVE-THRU AISLE.







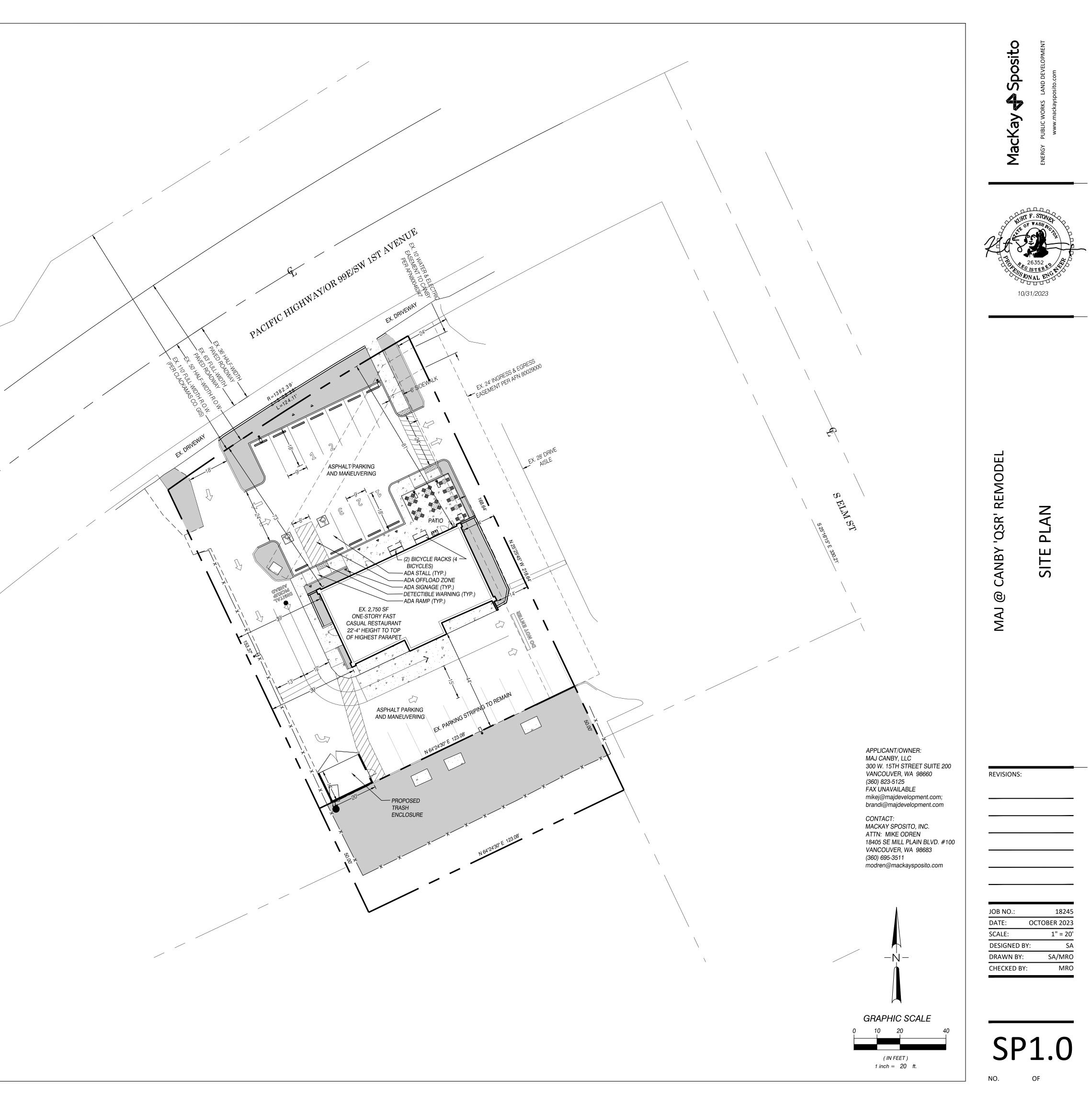


PARCEL NO: 00793608 AFN 2008-044515 26,085 SF (COMBINED)



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	ve SW 5th Ave	SITE SW 200 M <sup>0</sup> G <sup>0</sup> G <sup>0</sup> G <sup>0</sup> G <sup>0</sup> G <sup>0</sup> G <sup>0</sup> G <sup>0</sup> G	www.waanaa www.waanaaa	
<text><text><text><text><text><text><text></text></text></text></text></text></text></text>	ADDRESS: 597 PRESENT USE: DR EXISTING ZONING: C-2	IVE-THROUGH RESTAURANT 2		
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PROPOSED SIGNE (SIGN PLAN):       XONE FRAPOROSED AT THIS THE         PROPOSED LOTS, TRACTS, ETC:       XONE FRAPOROSED.         PROPOSED CLANDSCAPING PROVIDED CLANDSCAPING PED DISCUSSIONS       XONE FRAPOROSED.         PROPOSED CLANDSCAPING PROVIDED CLANDSCAPING PED DISCUSSIONS       XONE FRANCTORO PRAPRING STALLS, VHICH INCLUDES 2 ADA STALLS         PROPOSED CLANDSCAPING PROVIDED CLANDSCAPING PROVIDED CLANDSCAPING PROVIDED       XONE FRAPOROSED.         VERTICAL PRARING PROVIDED CLANDSCAPING PROVIDED       XONE FRAPOROSED.         VERTICAL PROVIDED CLANDSCAPING PROVIDED       XONE FRAPOROSED.         VEROPACINES       XONE	AREAS, AND PLANNED ENHANCEMEN PROPOSED GRADING: EXISTING STRUCTURES: PROPOSED STRUCTURES: PROPOSED EASEMENTS: PROPOSED ON-SITE ROAD RIGHTS-O PROPOSED PEDESTRIAN AND BICYCL PROPOSED LOADING ZONES: PROPOSED SEPTIC SYSTEMS: PROPOSED OPEN SPACE/PARK:	NT AREAS: DF-WAY:	REFER TO GRADING PLAN AS SHOWN NEW TRASH ENCLOSURE AS SHOWN; EX. BLDG. TO BE REMODELED NONE PROPOSED PEDESTRIAN CONNECTION FROM BLDG. TO SIDEWALK ALONG OR 99E/SW 1ST AVENUE AS SHOWN NONE PROPOSED NONE PROPOSED NONE PROPOSED	
PROPOSED LOTS, FRACTS, ETC:       NONE FRAPOPOSED         PROPOSED LANDSCAMPE QUANTICS:       SA SHOWN ON THE LANDSCAPE QUANTICS:         VIET PLAN COLLATIONS       2000 SF         MUDICAPE AREA       5.700 SF (10 58)         MUDICAPE AREA       2.700 SF (10 58)         MUDICAPAE       2.700 SF (10 58)	PROPOSED SIGNS (SIGN PLAN):		NONE PROPOSED AT THIS TIME	
TETERUM CULUITORS       2.03 ST (U.S.)         TAL SITE AREA       2.03 ST (U.S.)	PROPOSED LOTS, TRACTS, ETC: PROPOSED LANDSCAPING (LANDSCA	APE PLAN):	NONE PROPOSED AS SHOWN ON THE LANDSCAPE PLAN	
LUCING AREA       2.750 SF (10.5%)         LANSCAPE AREA       5.707 SF (12.4%)         NIVED AREA       1.7768 SF (12.4%)         REVISED PARKING ACT LANDSCAPING RECUIRED       3.18 SF (12.4%)         INSTEMICA PARKING LOT LANDSCAPING PER DIVIDED       3.21 SF (12.4%)         WISTEMICA RARKING LOT LANDSCAPING PER DIVIDED       3.21 SF (12.4%)         WISTEMICA RARKING LOT LANDSCAPING PER DISCUSSIONS       WITH OTTY OF CANBY STAFF)         PARKING CALCULATIONS       2.750 SF FAST-CASUAL RESTAURANT (DRIVE-THROUGH RESTAURANT)         ORIGINAL PARKING RECUIRED       2.750 SF FAST-CASUAL RESTAURANT (DRIVE-THROUGH RESTAURANT)         CARLI PARKING RECUIRED       2.750 SF FAST-CASUAL RESTAURANT (DRIVE-THROUGH RESTAURANT)         CARLING PROVIDED       2.2 STANDARD PARKING STALLS VEHICH INCLUDES 2 ADA STALLS         PARKING PROVIDED       2.2 STANDARD PARKING STALLS, WHICH INCLUDES 2 ADA STALLS         VEHICAL PROVIDED       2.2 STANDARD PARKING STALLS, WHICH INCLUDES 2 ADA STALLS         VEHICAL PROVIDED       2.2 STANDARD PARKING STALLS, WHICH INCLUDES 2 ADA STALLS         VEHICAL PROVIDED       2.2 STANDARD PARKING STALLS, WHICH INCLUDES 2 ADA STALLS         VEHICAL PROVIDED       2.2 STANDARD PARKING STALLS, WHICH INCLUDES 2 ADA STALLS         VEHICAL PROVIDED       2.2 STANDARD PARKING STALLS, WHICH INCLUDES 2 ADA STALLS	SITE PLAN CALCULATIONS	00.005.05	PARKING LOT REVISIONS AND EX. PARKING AS SHOWN	
(2,750/1,000) X 8 (8 STALLS PER 1,000 SF) = 22 STALLS 22 STANDARD PARKING STALLS, WHICH INCLUDES 2 ADA STALLS VHICH INCLUDES 2 ADA STALLS U EX. BLDG. TO BE REMODELED EX. BLDG. TO BE REMODELED EX. BLDG. TO BE REMODELED EX. BLDG. TO BE REMODELED EX. BLDG. TO BE REMODELED	LANDSCAPE AREA PAVED AREA INTERIOR PARKING LOT LANDSCAPIN (REVISED PARKING AREA ONLY) INTERIOR PARKING LOT LANDSCAPIN EXISTING LANDSCAPING IN SOUTHI MEET MINIMUM INTERIOR PARKING WITH CITY OF CANBY STAFF) <u>PARKING CALCULAT</u> IONS	5,570 SF (21.4 17,765 SF (68 IG REQUIRED 4,192 SF x 15 IG PROVIDED 521 SF (12.49 ERN PORTION OF SITE TO BE LOT LANDSCAPING PER DISC	4%) .1%) % = 629 SF %) USED TO :USSIONS	
LEGEND		(2,750/1,000) X 8 (8	STALLS PER 1,000 SF) = 22 STALLS	
EX. BLDG. TO BE REMODELED				
	LEGEND			
		• &	SIGN ADA STALL LIGHT LANDSCAPE AREA	



#### LANDSCAPE LEGEND

SYMBOL		SIZE/COND.	SPACING
TREES			
SSM	Scarlet Sentinel Maple Acer rubrum 'Scarsen'	2" CAL.	AS SHOWN
SHRUBS			
DV	David Viburnum Viburnum davidii	3 GAL.	3' O.C.
EA	Emerald Arborvitae Thuja occidentalis 'Smaragd'	3'-4' HEIGHT	2.5' O.C.
OLL	Otto Luyken Laurel Prunus laurocerasus 'Otto Luyken'	5 GAL.	3' O.C.

GROUNDCOVER

Existing landscape to remain 

Emerald Carpet Rubus

Rubus calycinoides 'Emerald Carpet'

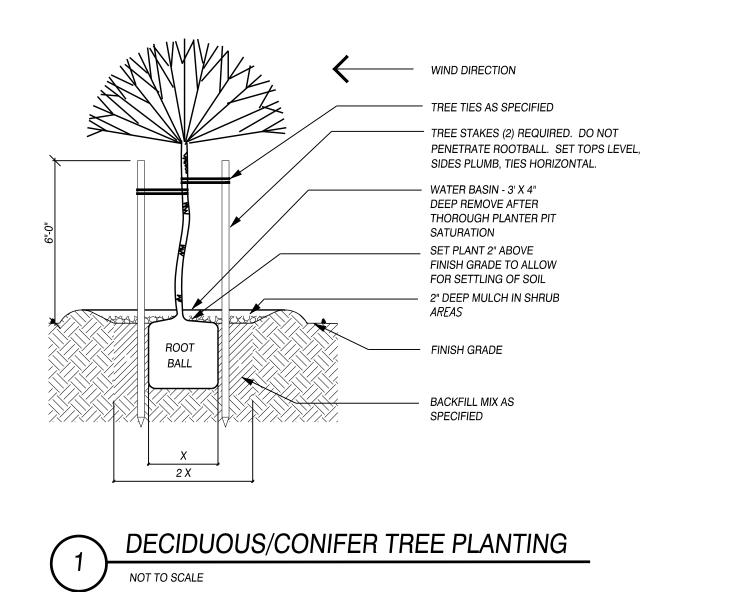
Lawn - Seeded/Sod/Hydroseeded Oregon Ryegrass Blend - Meet/match adjacent lawn and lawn grade.

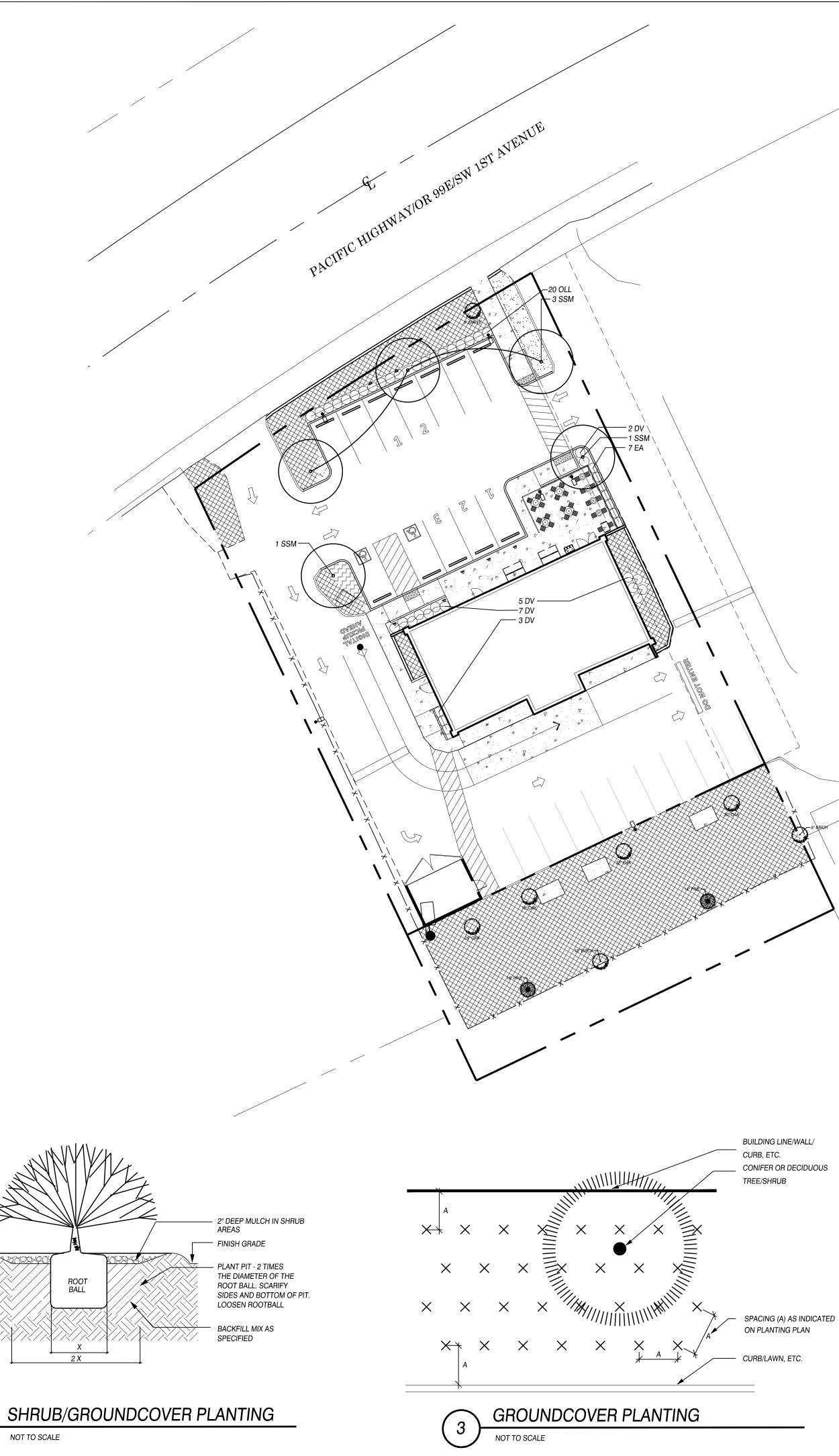
NOTES

- Installation shall fully comply with all landscape code requirements and any City of Canby 1. conditions of approval.
- Existing irrigation shall be modified to accommodate proposed and adjusted landscape areas. All landscaping shall be installed in a sound workman-like manner, and according to accepted З.

1 GAL. 18" O.C.

- good planting procedures with quality plant materials. The owner, or his agent, shall be responsible for the maintenance of all landscaping which shall be maintained in good condition so as to present a healthy, neat, and orderly appearance, and 4. shall be kept free from refuse and debris.
- Existing vegetation to be removed or retained is as noted on the plan.
- Plants shall be spaced as indicated above unless otherwise shown on the plan. If a 6. discrepancy exists, the plan shall prevail.
- Contractor shall verify species and quantities of all plant material prior to bid. Prior to installation of topsoil in new shrub, groundcover and lawn planting areas as indicated on the Landscape Plan, cross-rip at 18 inches on center or rototill subgrade to an 8-inch to 8.
- 12-inch depth. Install minimum 12-inch depth imported topsoil in all new shrub and groundcover planting areas, 6 inches in new lawn areas, as indicated on the Landscape Plan. Amend planting area topsoil with 2-inch minimum layer composted yard debris prior to installation of plant material. 9. Imported planting area topsoil shall be a sandy loam topsoil with a combined silt and clay content less than 20% and medium to very fine sand 60%-70% which shall be percentages by weight of those particles passing a 2mm screen. The remaining percentages shall be particles larger than medium to very fine sand (coarse or very coarse sand or gravel sized particles). All particles shall pass a 1/2-inch screen. All topsoil shall be free from subsoil, debris, turf, mushrooms, weeds or any other objectionable material. If subgrade is comprised of rock, rock fill or cement treated soil, remove subsoil from site and deposit topsoil to the following depths: 24-inch minimum depth in all planting areas, 36-inch minimum depth at all tree locations in a 5 foot diameter. Allow no cross contamination of cement treated soil with placed topsoil. Install minimum 2-inches bark mulch in all new landscape areas within 2 days of planting. 10.









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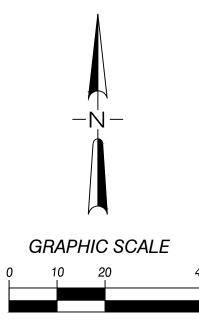
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**REVISIONS:** 18245 JOB NO.: DATE: OCTOBER 2023 SCALE: 1" = 20' DESIGNED BY: MRO DRAWN BY: MRO MRO CHECKED BY:



APPLICANT/OWNER: MAJ CANBY, LLC 300 W. 15TH STREET SUITE 200 VANCOUVER, WA 98660 (360) 823-5125 FAX UNAVAILABLE mikej@majdevelopment.com; brandi@majdevelopment.com

> CONTACT: MACKAY SPOSITO, INC. ATTN: MIKE ODREN 18405 SE MILL PLAIN BLVD. #100 VANCOUVER, WA 98683 (360) 695-3511 modren@mackaysposito.com



(IN FEET) 1 inch = 20 ft.



