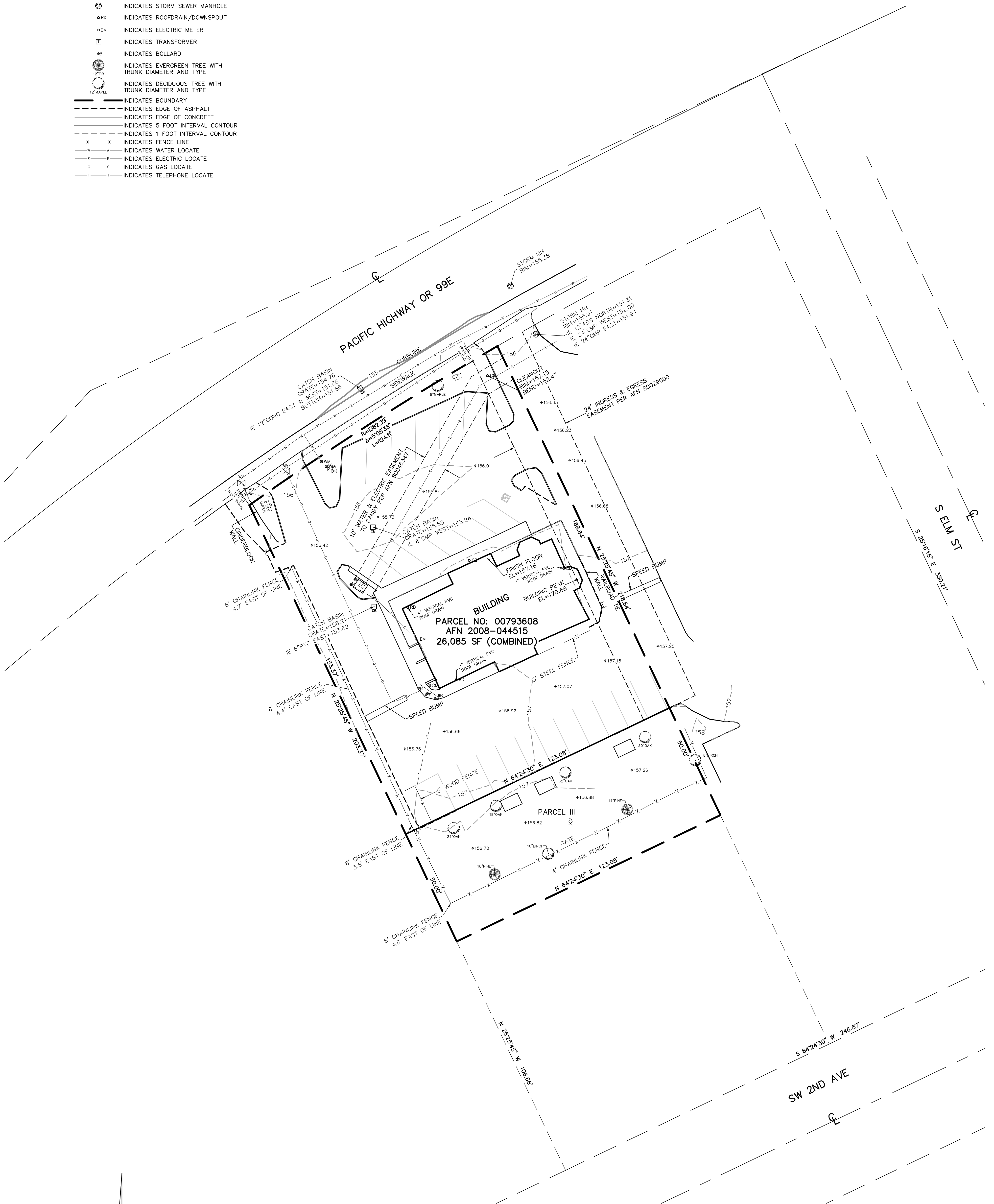


EXISTING CONDITIONS SURVEY

IN THE PHILANDER LEE D.L.C. IN THE SW 1/4 OF THE SW 1/4 OF SECTION 33 T. 3 S., R. 1 E., PARCEL NUMBER: 00793608 597 SW 1ST AVE CITY OF CANBY, 97013 CLACKAMAS COUNTY, OREGON

LEGEND:

- INDICATES WATER VALVE
- INDICATES FIRE HYDRANT
- INDICATES WATER METER
- INDICATES CONTROL VALVE
- INDICATES GAS VALVE
- INDICATES GAS METER
- + 250.00' INDICATES SPOT ELEVATION
- INDICATES SIGN
- INDICATES CLEANOUT
- INDICATES CATCH BASIN
- INDICATES STORM SEWER MANHOLE
- INDICATES ROOF DRAIN/DOWNSPOUT
- INDICATES ELECTRIC METER
- INDICATES TRANSFORMER
- INDICATES BOLLARD
- INDICATES EVERGREEN TREE WITH TRUNK DIAMETER AND TYPE
- INDICATES DECIDUOUS TREE WITH TRUNK DIAMETER AND TYPE
- INDICATES BOUNDARY
- INDICATES EDGE OF ASPHALT
- INDICATES EDGE OF CONCRETE
- INDICATES 5 FOOT INTERVAL CONTOUR
- INDICATES 1 FOOT INTERVAL CONTOUR
- INDICATES FENCE LINE
- INDICATES WATER LOCATE
- INDICATES ELECTRIC LOCATE
- INDICATES GAS LOCATE
- INDICATES TELEPHONE LOCATE



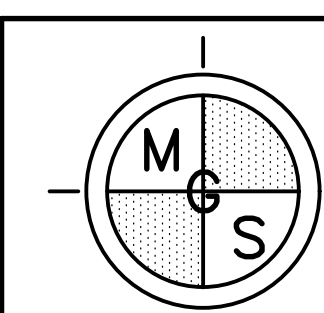
10/16/23
 REGISTERED PROFESSIONAL LAND SURVEYOR
 Chris Avery
 OREGON
 SEPTEMBER 12, 2017
 CHRISTOPHER S. AVERY
 90176

SCALE 1 INCH = 20 FEET

HORIZONTAL DATUM:
 NAD 83 (2011) (EPOCH: 2010.000)
 OREGON STATE PLANE COORDINATE SYSTEM,
 NORTH ZONE, INTERNATIONAL FEET. BASED ON OPUS SOLUTION TO MGS CONTROL POINT NO. 50.

VERTICAL DATUM:
 NAVD 88 (GEOID 2012A) BASED ON OPUS SOLUTION TO MGS CONTROL POINT NO. 50.

UTILITY LOCATES:
 A UTILITY LOCATE WAS CALLED FOR ON 06/08/23 UNDER TICKET NUMBER 23160787. THE UNDERGROUND UTILITIES AS SHOWN HEREON ARE AS MARKED AT THE TIME OF THIS SURVEY. UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY. UNDERGROUND CONNECTIONS ARE SHOWN AS STRAIGHT LINES BETWEEN SURFACE LOCATIONS BUT MAY CONTAIN BENDS OR CURVES NOT SHOWN. SOME UNDERGROUND LOCATIONS HEREON MAY HAVE BEEN TAKEN FROM PUBLIC RECORDS. M.G.S. ASSUMES NO LIABILITY FOR THE ACCURACY OF PUBLIC RECORDS.

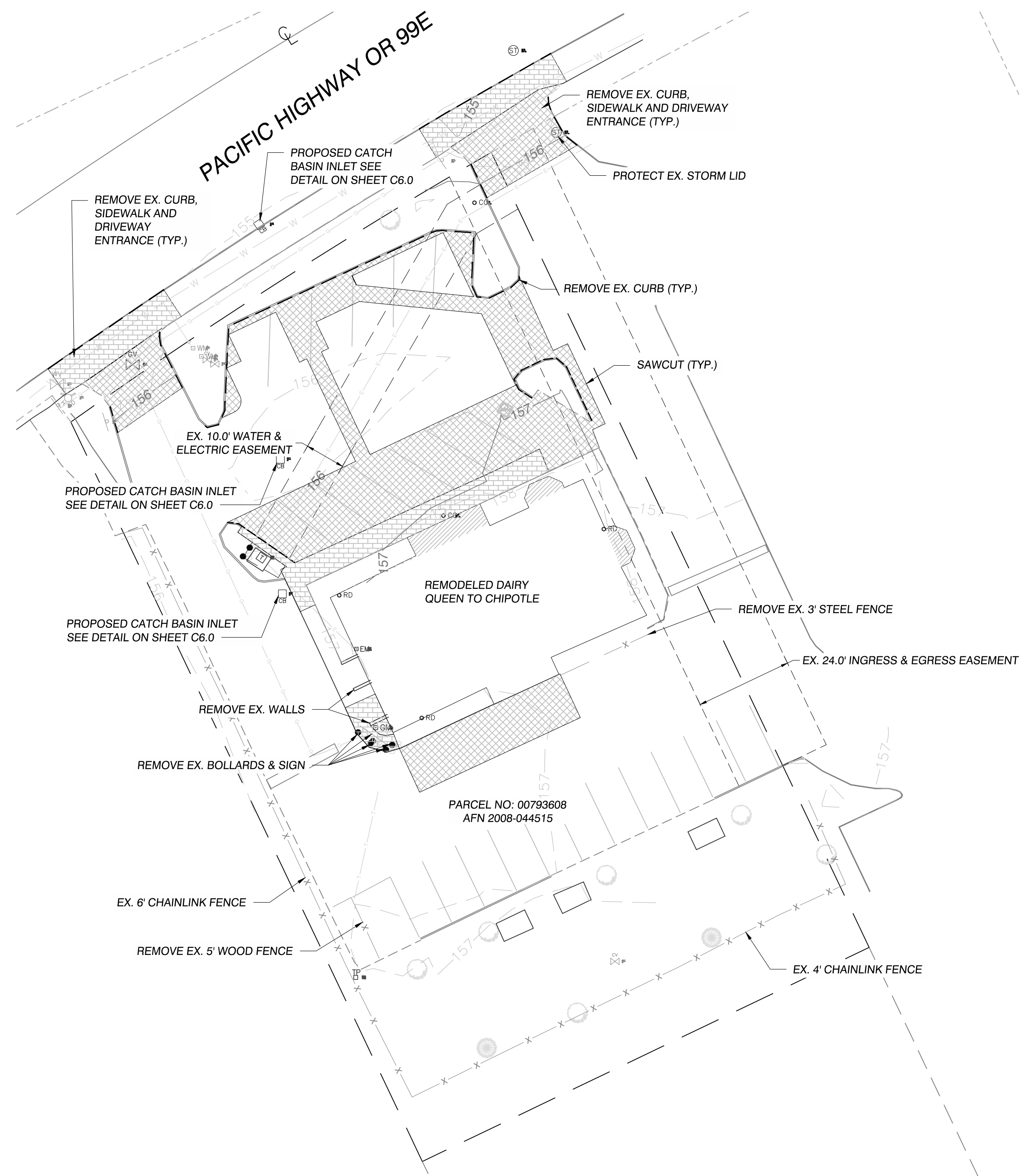


MINISTER-GLAESER SURVEYING INC.
 2200 E. EVERGREEN BLVD.
 VANCOUVER, WA 98661
 (360) 694-3313

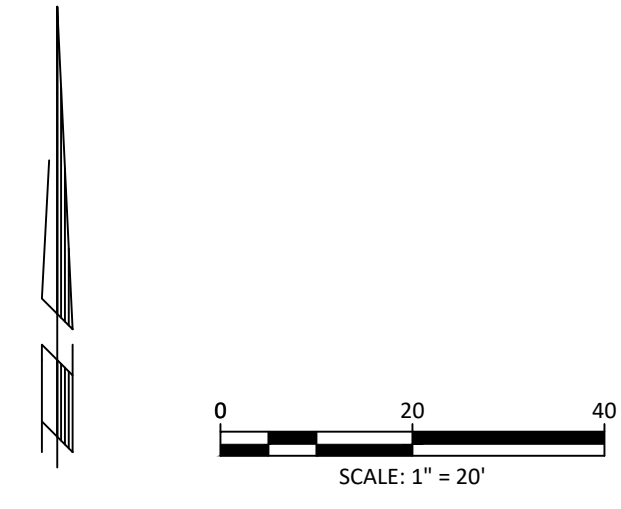
SCALE: 1"=20'
 JOB NO. 23-177
 DATE: 10/16/23
 CALC BY: CSA
 DRAWN BY: NG
 CHECKED BY: CSA
 SHEET 1 OF 1

SHEET: C2.0

FILE: W:\18245 CHIPOTLE CANBY\500 DESIGN\502 DRAWINGS\SHEETS\FINAL ENGINEERING\18245_C3.0_DEMO.EROSION.DWG



EROSION CONTROL LEGEND	
--- 100 ---	EXISTING GRADE CONTOUR
— 100 —	FINISHED GRADED CONTOUR
- - - - -	REMOVE EXISTING CURB
[Cross-hatched box]	ASPHALT REMOVED
[Grid-hatched box]	CONCRETE REMOVED
[Diagonal-hatched box]	BUILDING REMOVED (SEE ARCHITECTURAL PLANS)



EROSION CONTROL NOTES:

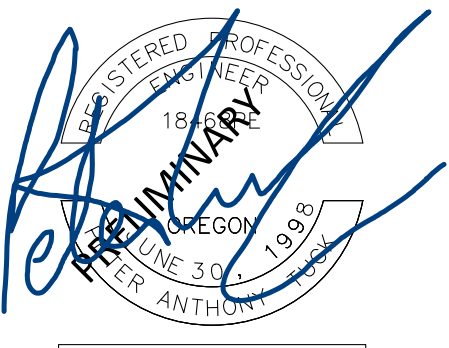
1. EROSION AND SEDIMENT CONTROL SHALL BE PER THE REQUIREMENTS OF THE EROSION AND CONTROL CONSTITUTION STORMWATER GENERAL PERMIT AND THE CITY OF CANBY.
2. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO COMMENCING CLEARING AND GRUBBING, GRADING, DEMOLITION, OR OTHER GROUND DISTURBING ACTIVITIES.
3. THE CONTRACTOR SHALL ENSURE THAT THE EXISTING SIDEWALKS REMAIN CLEAR & FREE FROM CONSTRUCTION MATERIAL & DEBRIS AT ALL TIMES.
4. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF CANBY. ALL CHANGES SHALL BE MADE IN ACCORDANCE WITH CITY OF CANBY.
5. SIGNIFICANT VARIATION AND DEGREE OF EROSION CONTROL EFFORT WILL BE DICTATED BY WEATHER CONDITIONS. THE DEVELOPER AND CONTRACTOR SHOULD BE PREPARED TO PROVIDE EXTRA EROSION CONTROL, PROVISIONS AND EFFORT DURING WINTER AND WET WEATHER CONDITIONS BEYOND THAT NORMALLY REQUIRED DURING SUMMER AND DRY WEATHER CONDITIONS. FINE GRAINED AND UNCONSOLIDATED SOILS ON SLOPING SITES MAY BECOME UNSTABLE WHEN SUBJECT TO EXCESSIVE MOISTURE.

GRADING NOTES:

1. EXISTING CONTOURS SHOWN ARE TO EXISTING GROUND SURFACE. FINISHED GRADE CONTOURS SHOWN ARE TO TOP OF FINISHED GRADE SURFACE.
2. ANY UNSUITABLE MATERIAL TO BE EXCAVATED AND REMOVED FROM THE SITE.

DEMOLITION NOTES:

1. CONTRACTOR TO CALL UTILITY NOTIFICATION CENTER AT 811 AND HAVE ALL EXISTING UTILITIES LOCATED PRIOR TO BEGINNING ANY DEMOLITION OR CONSTRUCTION ACTIVITIES.
2. LOCATION AND ELEVATIONS OF EXISTING UTILITIES ARE BASED ON MGS SURVEY CONDUCTED ON SITE. CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER IF SIGNIFICANTLY DIFFERENT FROM PLANS.

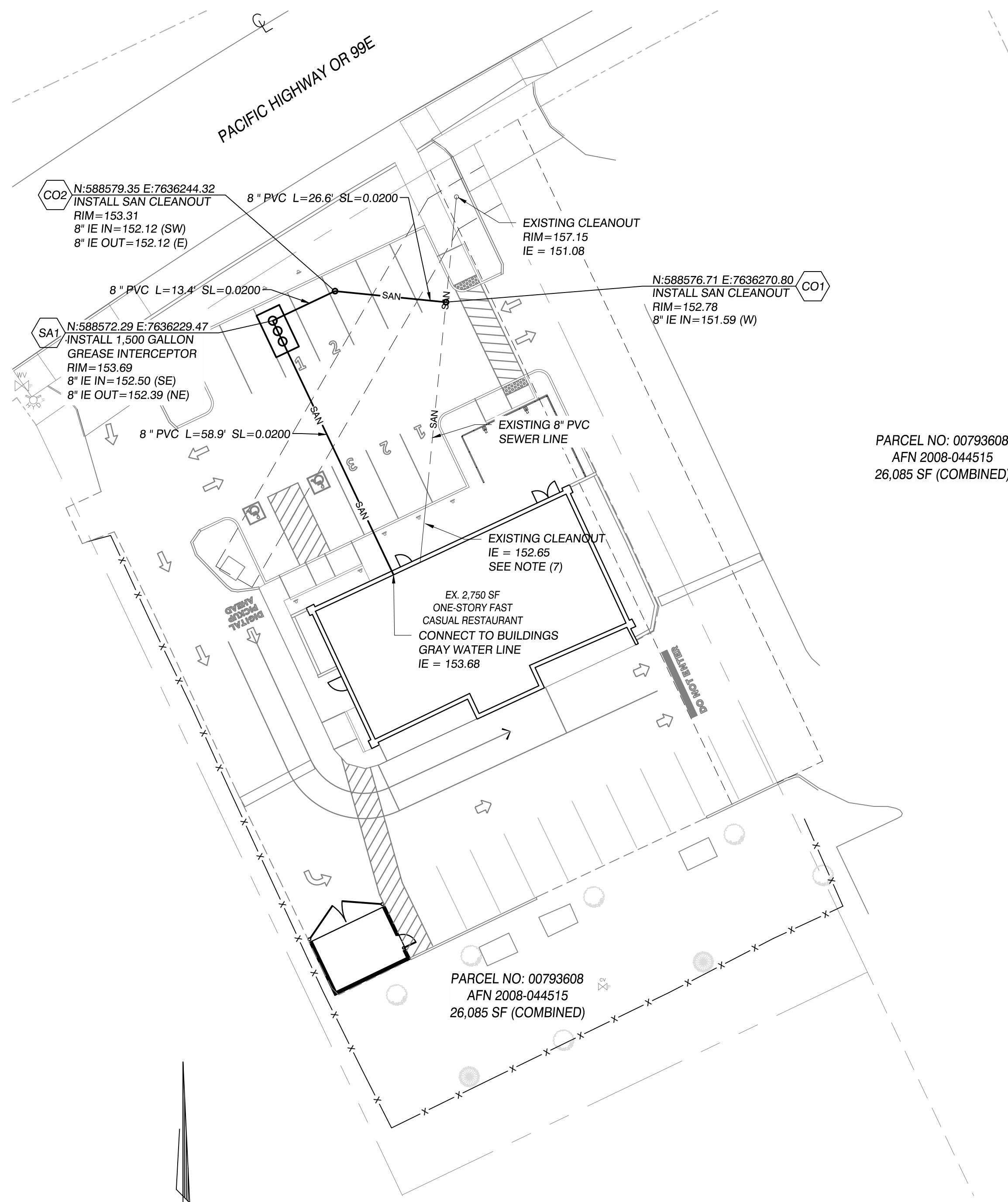


EXPIRES: 6/30/2024
 10/31/2023

REVISIONS:

JOB NO.:	18245
DATE:	10/31/2023
SCALE:	1" = 20'
DESIGNED BY:	AAK
DRAWN BY:	AAK
CHECKED BY:	PAT

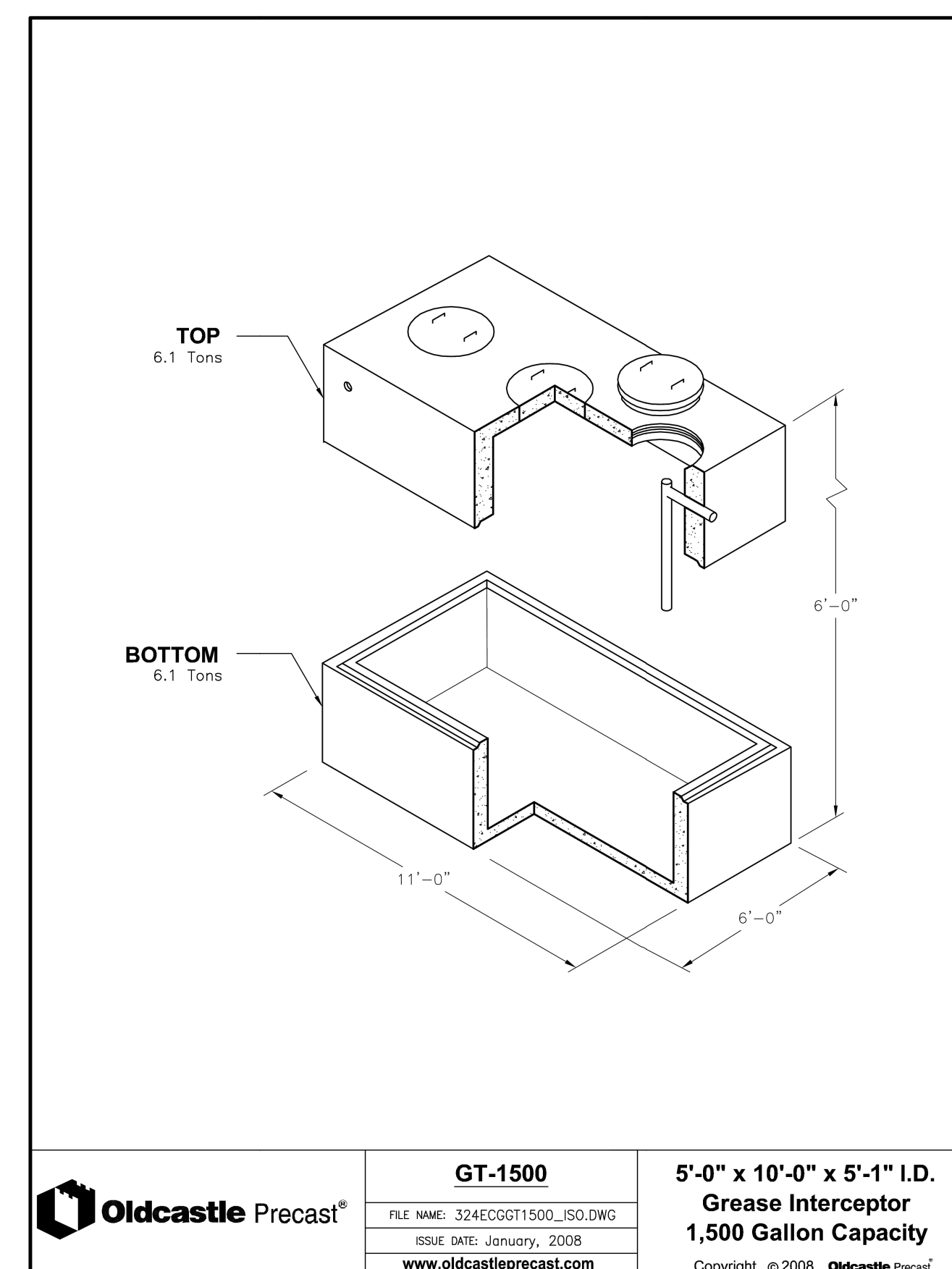
MAJ @ CANBY
 'QSR' REMODEL



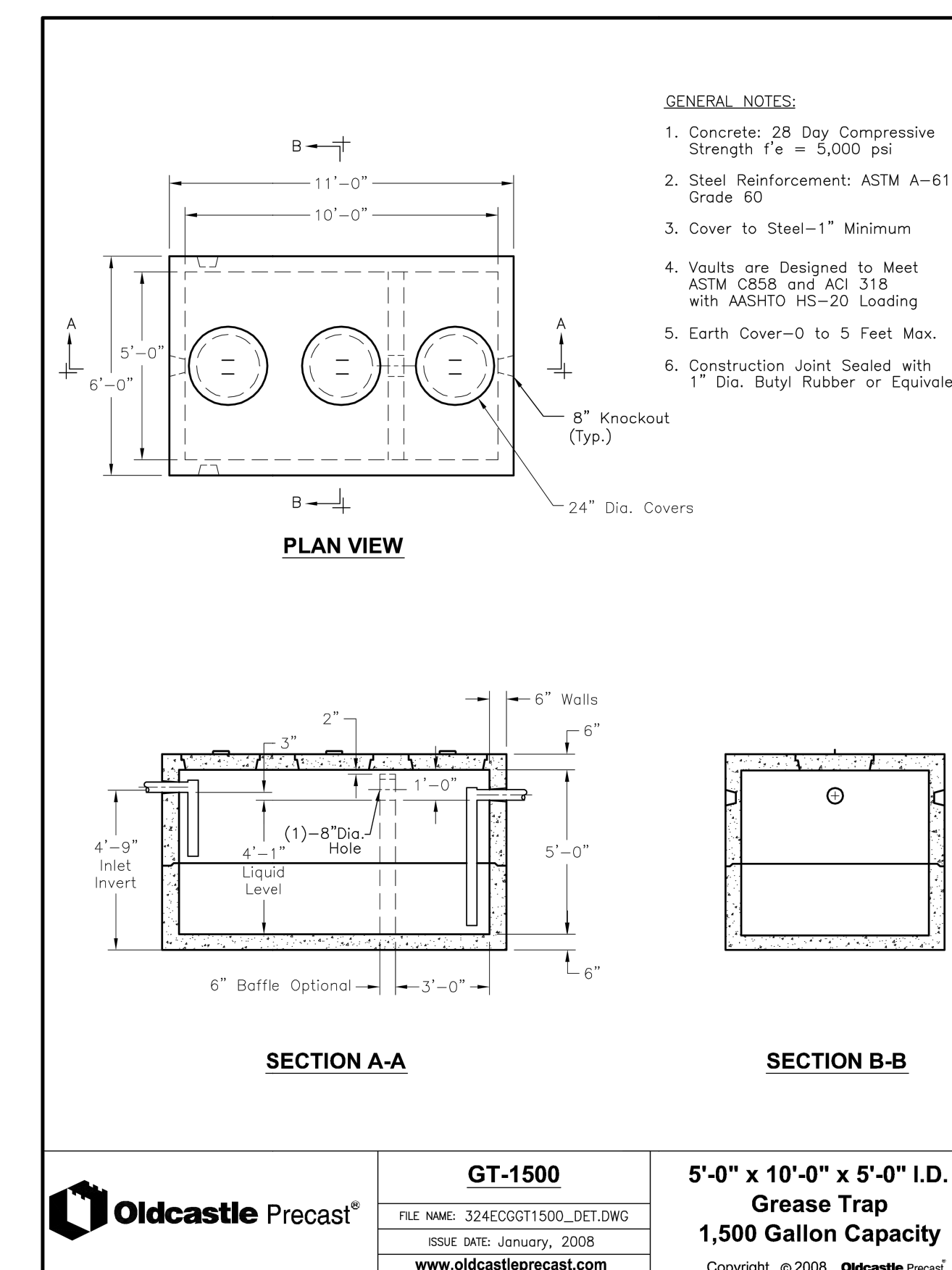
PARCEL NO: 00793608
AFN 2008-044515
26,085 SF (COMBINED)

PARCEL NO: 00793608
AFN 2008-044515
26,085 SF (COMBINED)

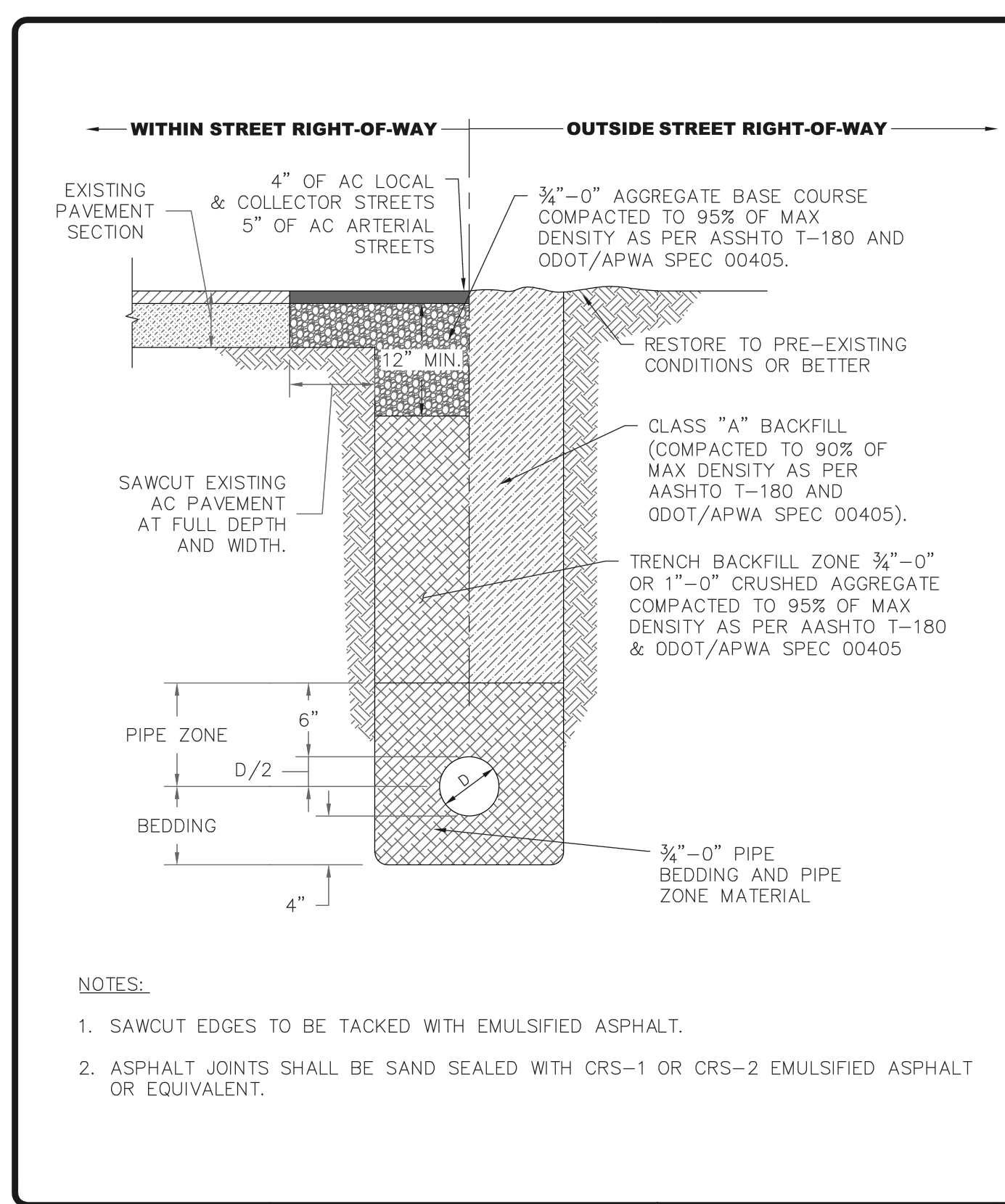
- SANITARY SEWER NOTES:**
- 1) THE GREASE TRAP WILL EXTEND AND TIE INTO THE EXISTING SANITARY SEWER LINE.
 - 2) IF REQUIRED, SANITARY SEWER EASEMENTS TO BE PROVIDED TO CITY OF CANBY.
 - 3) SEE DETAILS ON THIS SHEET FOR THE SEWER CLEANOUT STANDARD DETAIL.
 - 4) ALL INVERTS TO BE VERIFIED PRIOR TO BACKFILLING.
 - 5) TRENCHING AND BACKFILL TO BE PER STANDARD DETAILS ON THIS SHEET.
 - 6) IE ELEVATIONS TO BE FIELD VERIFIED AT TIME OF CONSTRUCTION.
 - 7) IE TO BE POTHOLED PRIOR TO CONSTRUCTION STARTING. IF IE DIFFERS, ENGINEER AND ARCHITECT TO BE INFORMED.



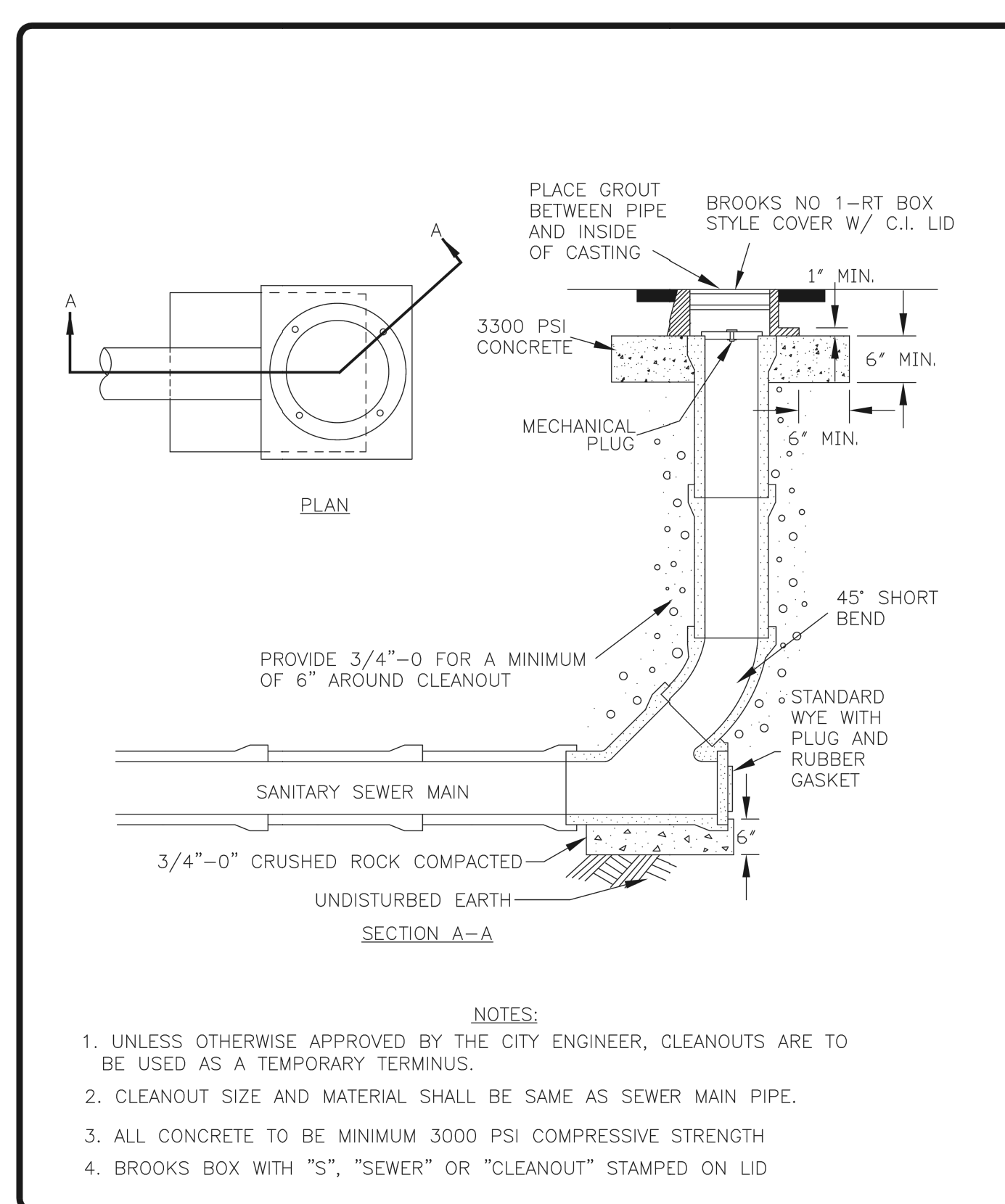
Oldcastle Precast	GT-1500	5'-0" x 10'-0" x 5'-1" I.D.
	FILE NAME: 324EGGT1500_ISO.DWG	Grease Interceptor
	ISSUE DATE: January, 2008	1,500 Gallon Capacity
	www.oldcastleprecast.com	Copyright © 2008 Oldcastle Precast



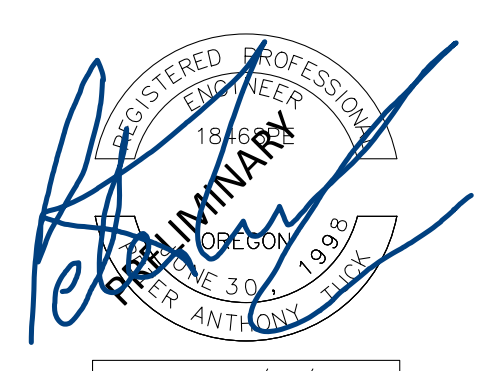
Oldcastle Precast	GT-1500	5'-0" x 10'-0" x 5'-0" I.D.
	FILE NAME: 324EGGT1500_DET.DWG	Grease Trap
	ISSUE DATE: January, 2008	1,500 Gallon Capacity
	www.oldcastleprecast.com	Copyright © 2008 Oldcastle Precast



CITY OF CANBY	TRENCH DETAIL		
	BY: JT	DATE: 12-06-19	DWG NO: 210



CITY OF CANBY	SANITARY SEWER CLEAN-OUT		
	BY: JT	DATE: 12-06-19	DWG NO: 303



10/31/2023

MAJ @ CANBY 'QSR' REMODEL
CANBY, CLACKAMAS
SANITARY SEWER PLAN

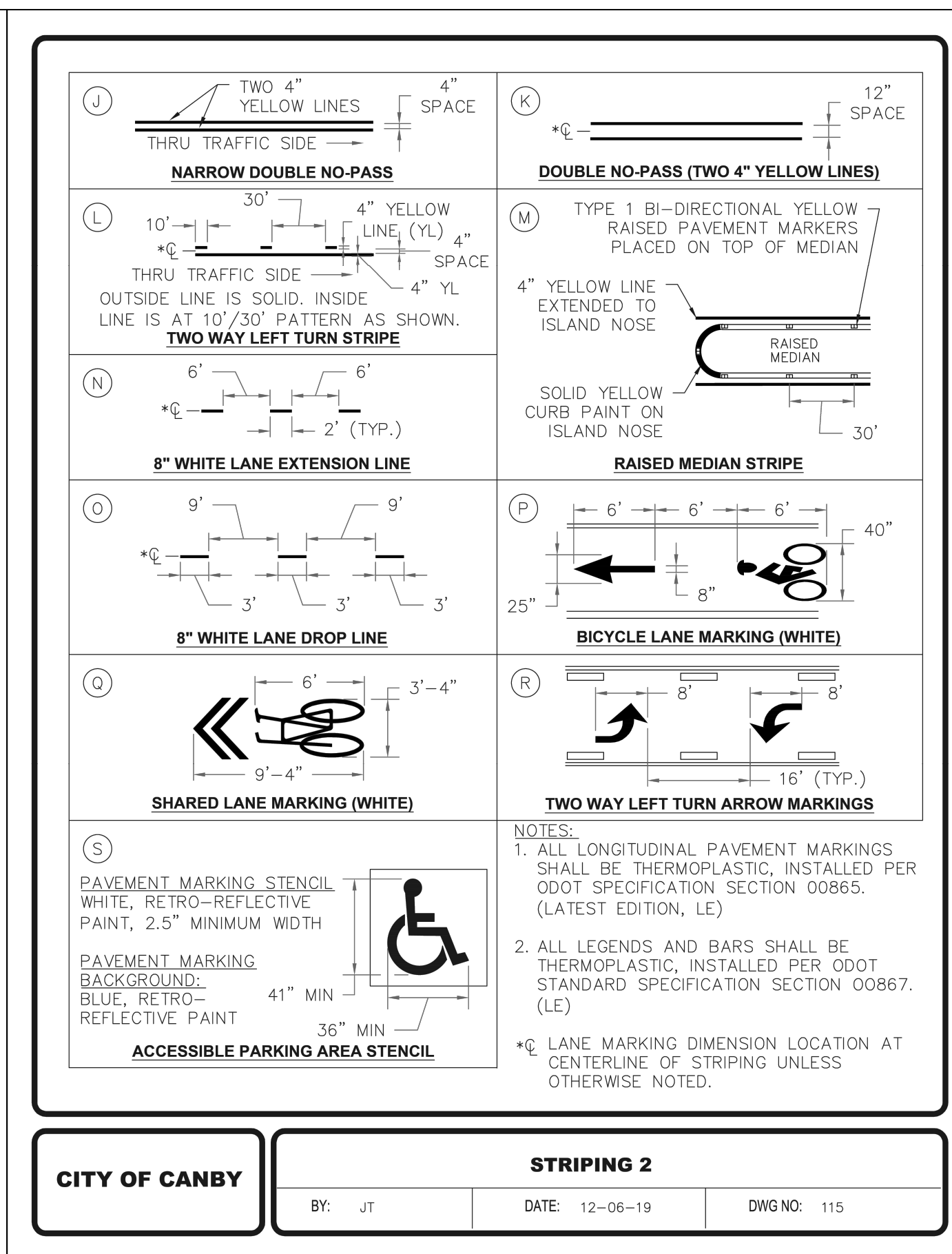
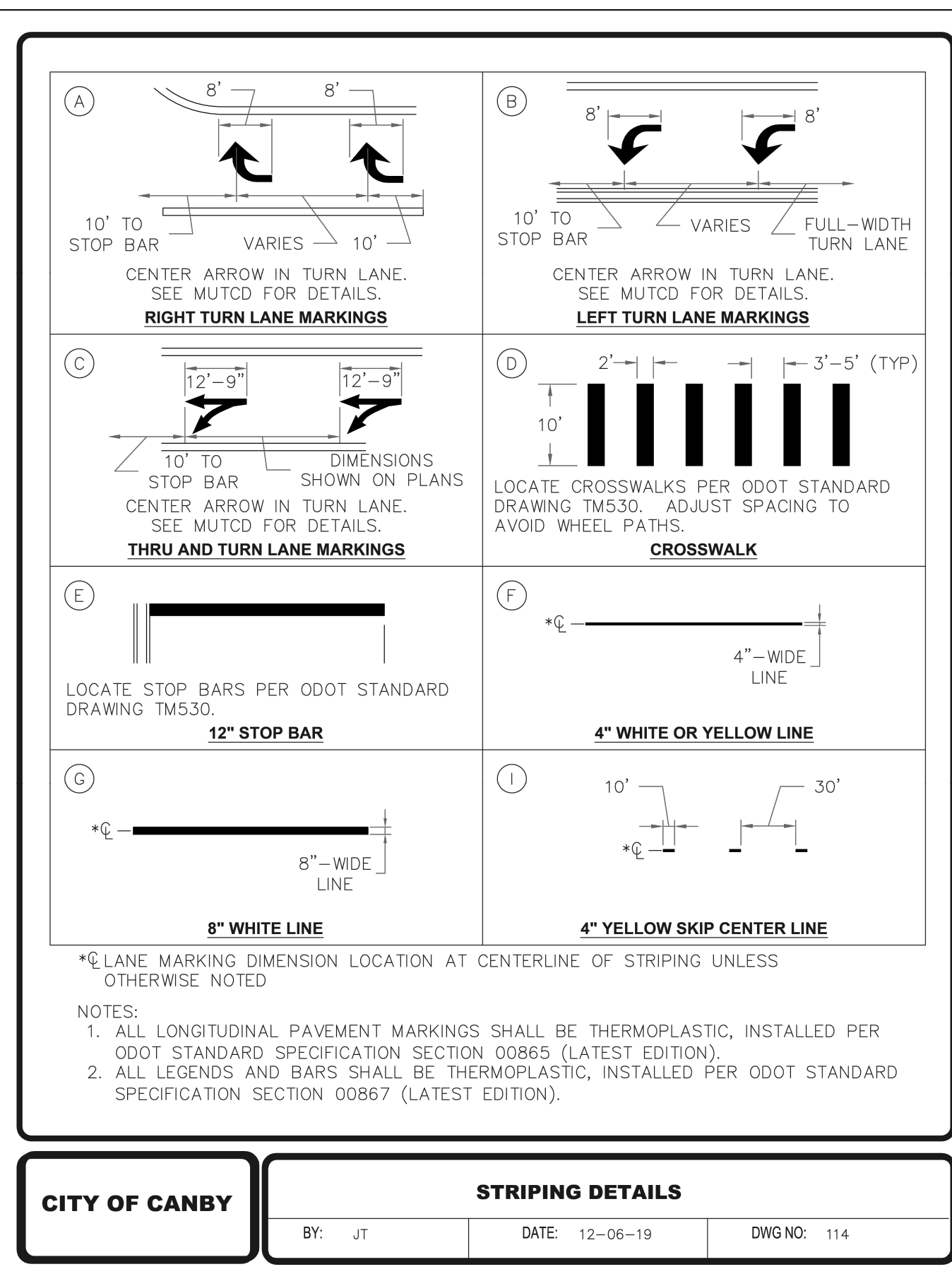
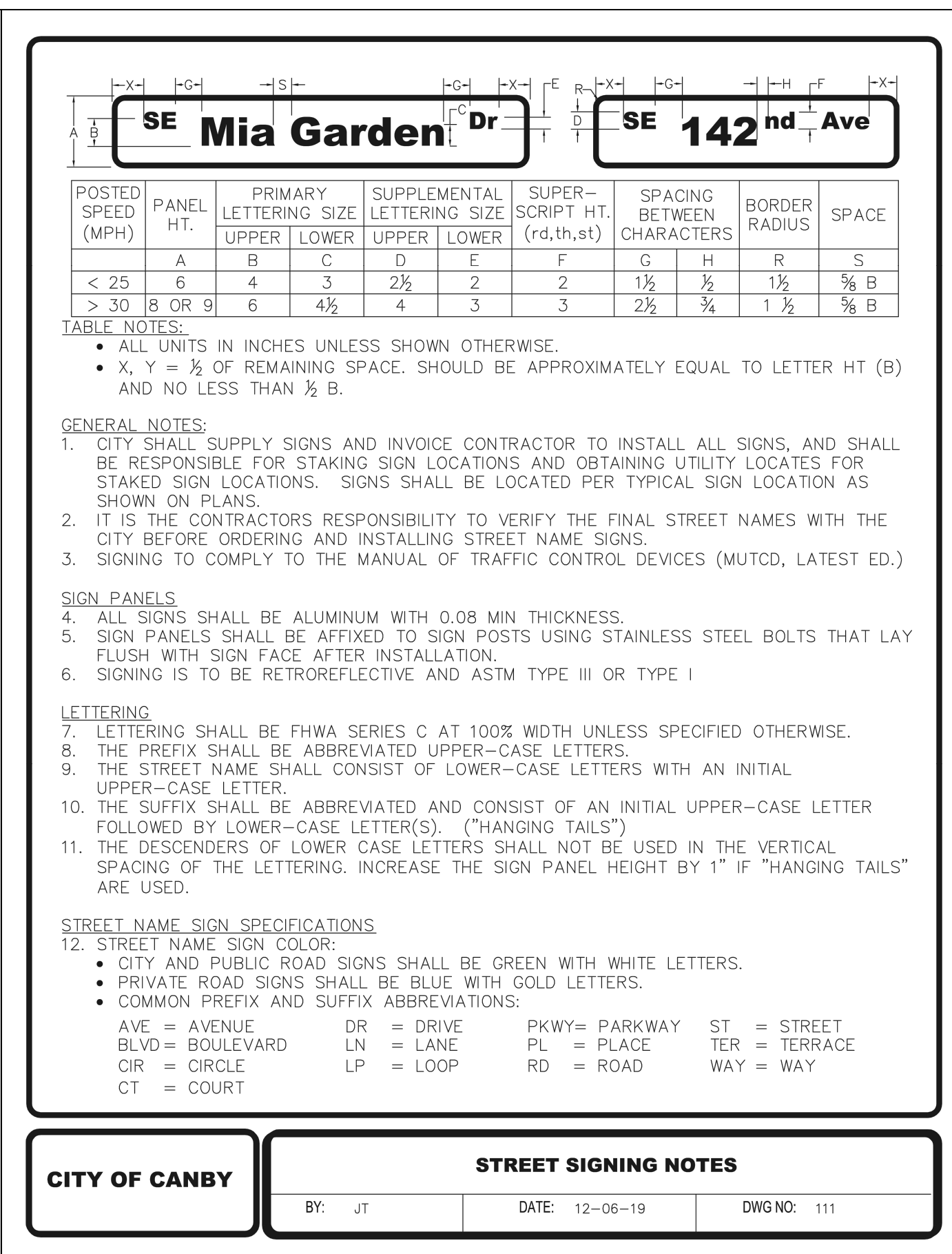
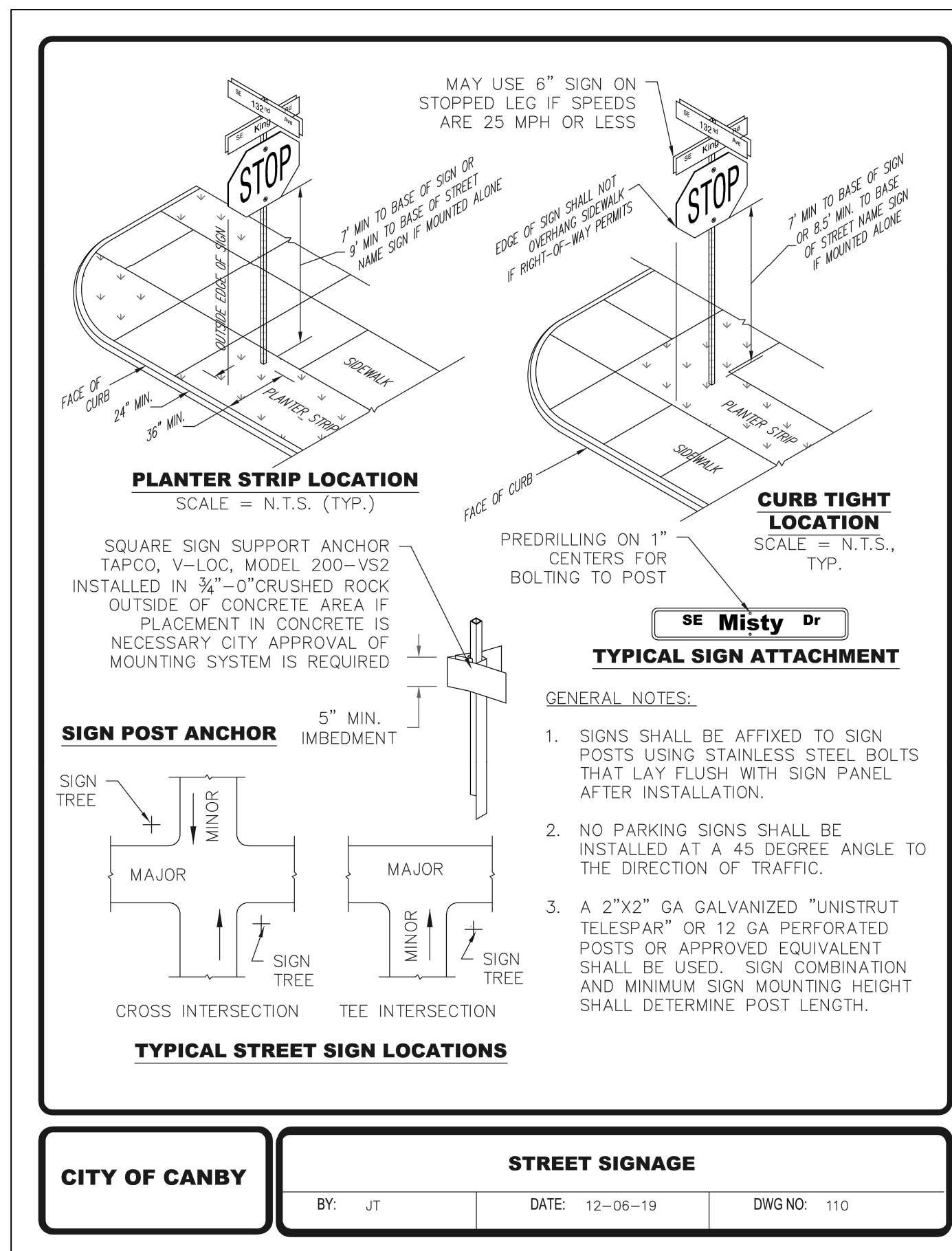
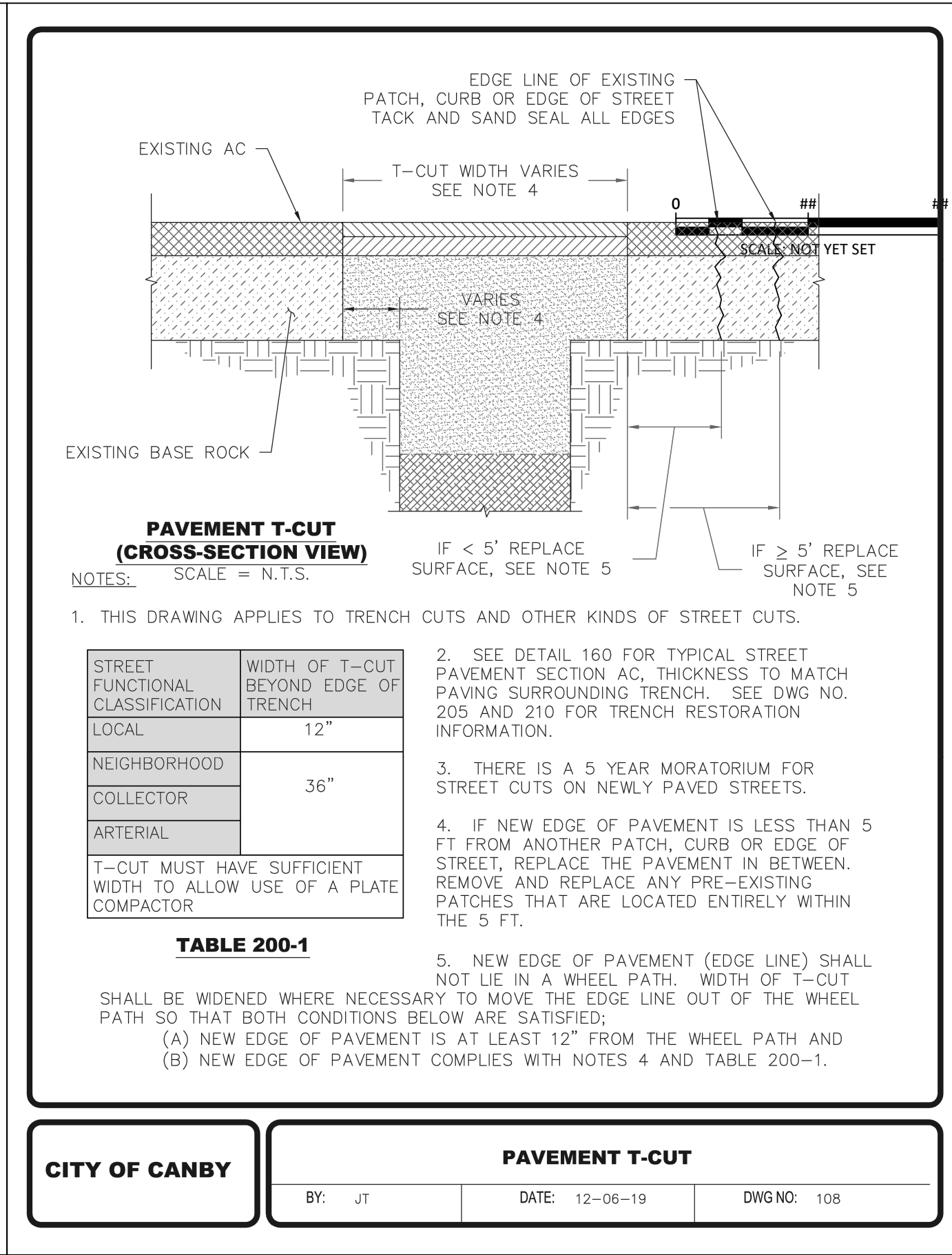
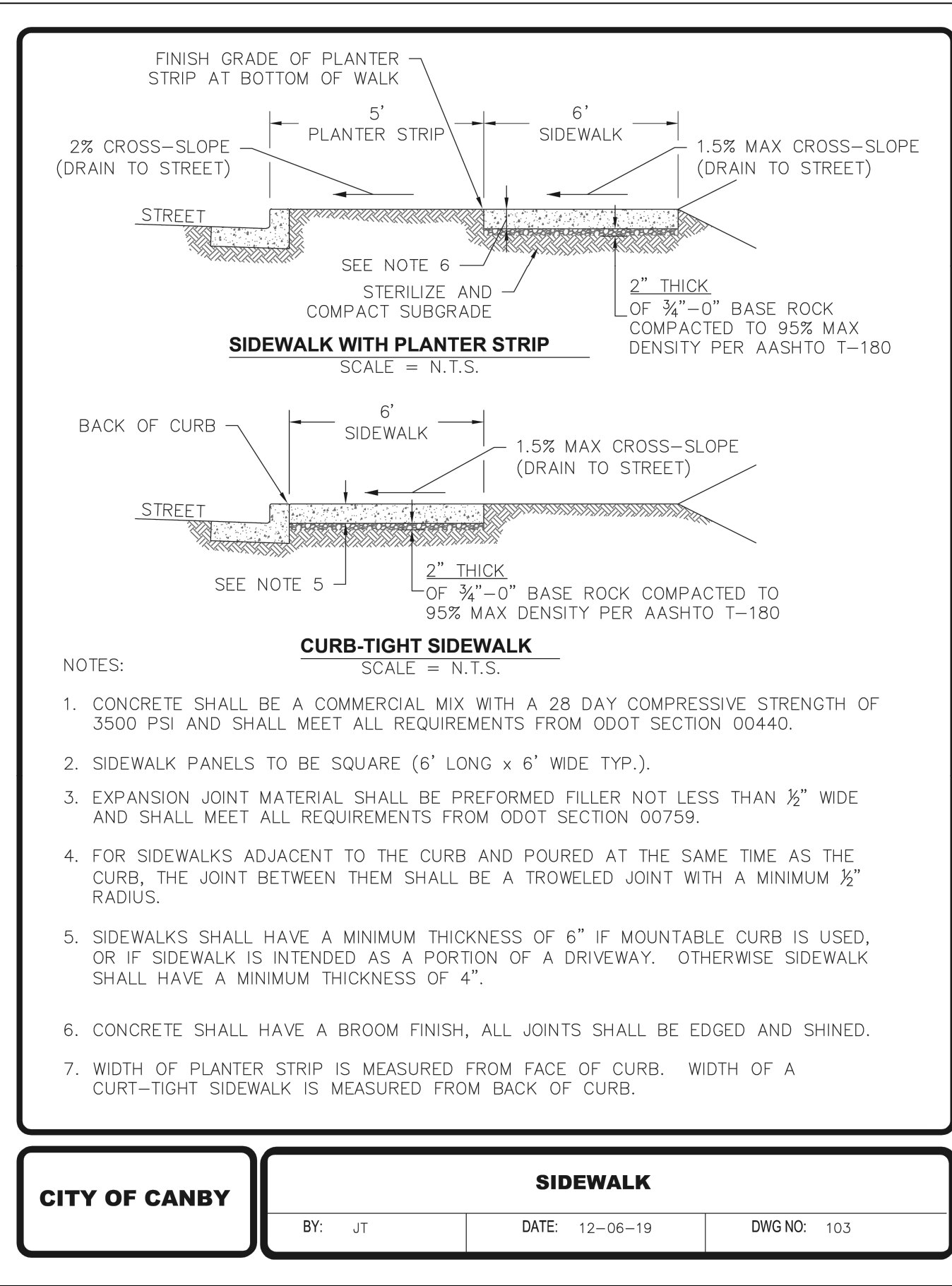
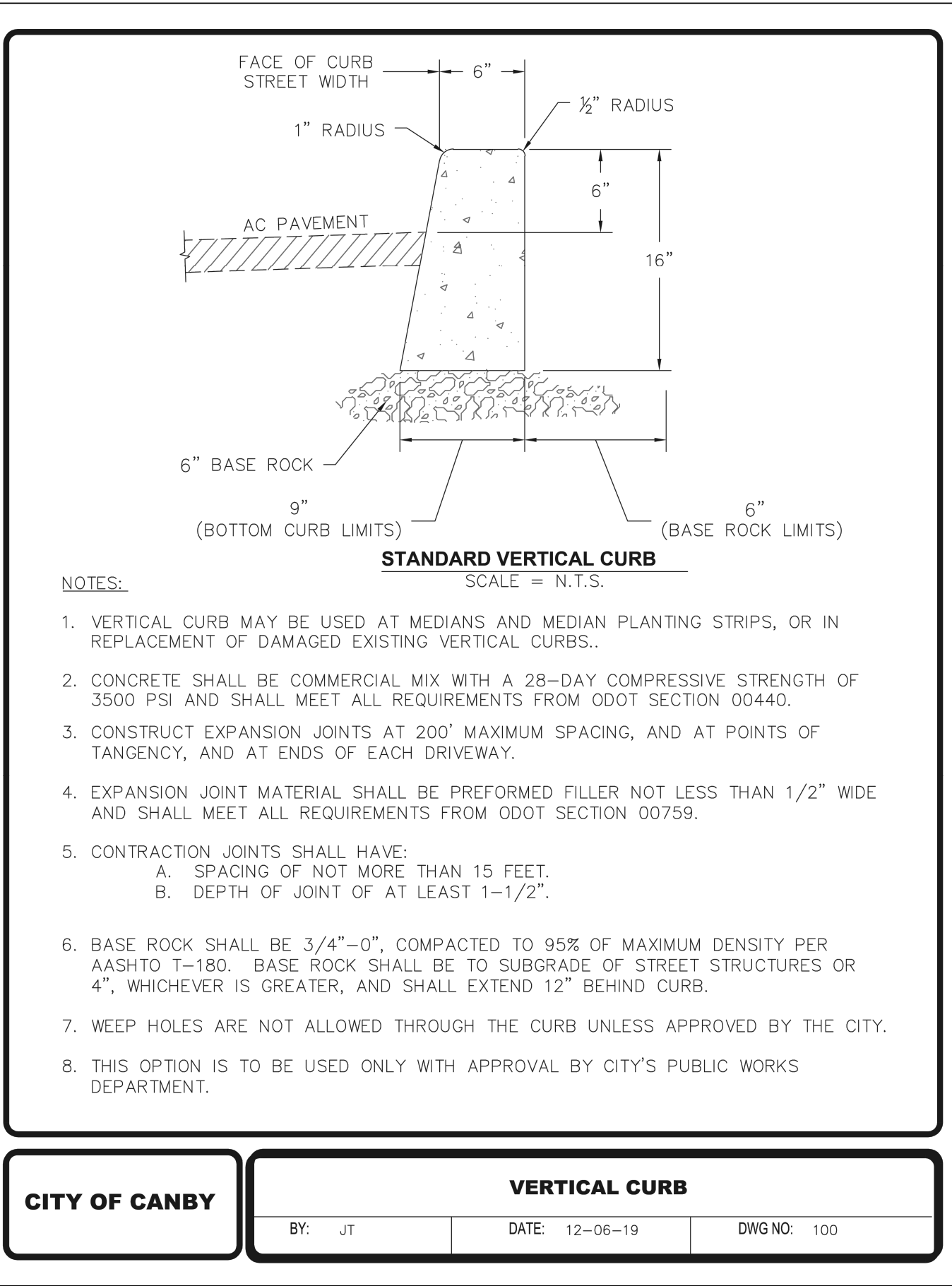
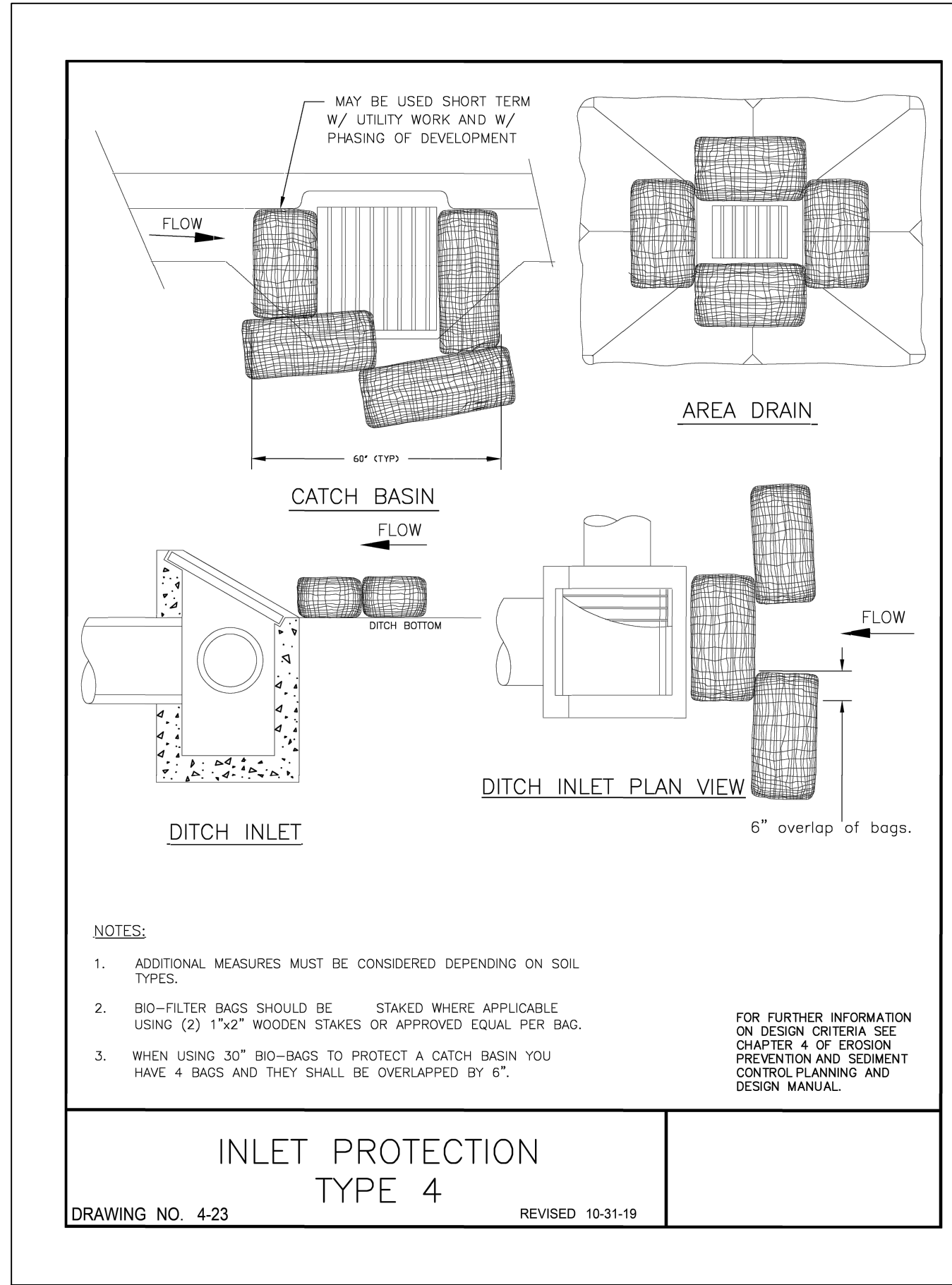
REVISIONS:

MAJ @ CANBY 'QSR' REMODEL

JOB NO.: 18245
DATE: 10/31/2023
SCALE: 1" = 20'
DESIGNED BY: AAK
DRAWN BY: AAK
CHECKED BY: PAT

C5.0

FILE: W:\18245 CHIPOTLE CANBY 500 DESIGN\502 DRAWINGS\SHEETS\FINAL ENGINEERING\18245_C6.0_EROSION&TRANSPORTATION\DETAILS.DWG



REVISIONS:

NO.	DESCRIPTION

JOB NO.: 18245
 DATE: 10/31/2023
 SCALE: N/A
 DESIGNED BY: AAK
 DRAWN BY: AAK
 CHECKED BY: PAT

LANDSCAPE LEGEND

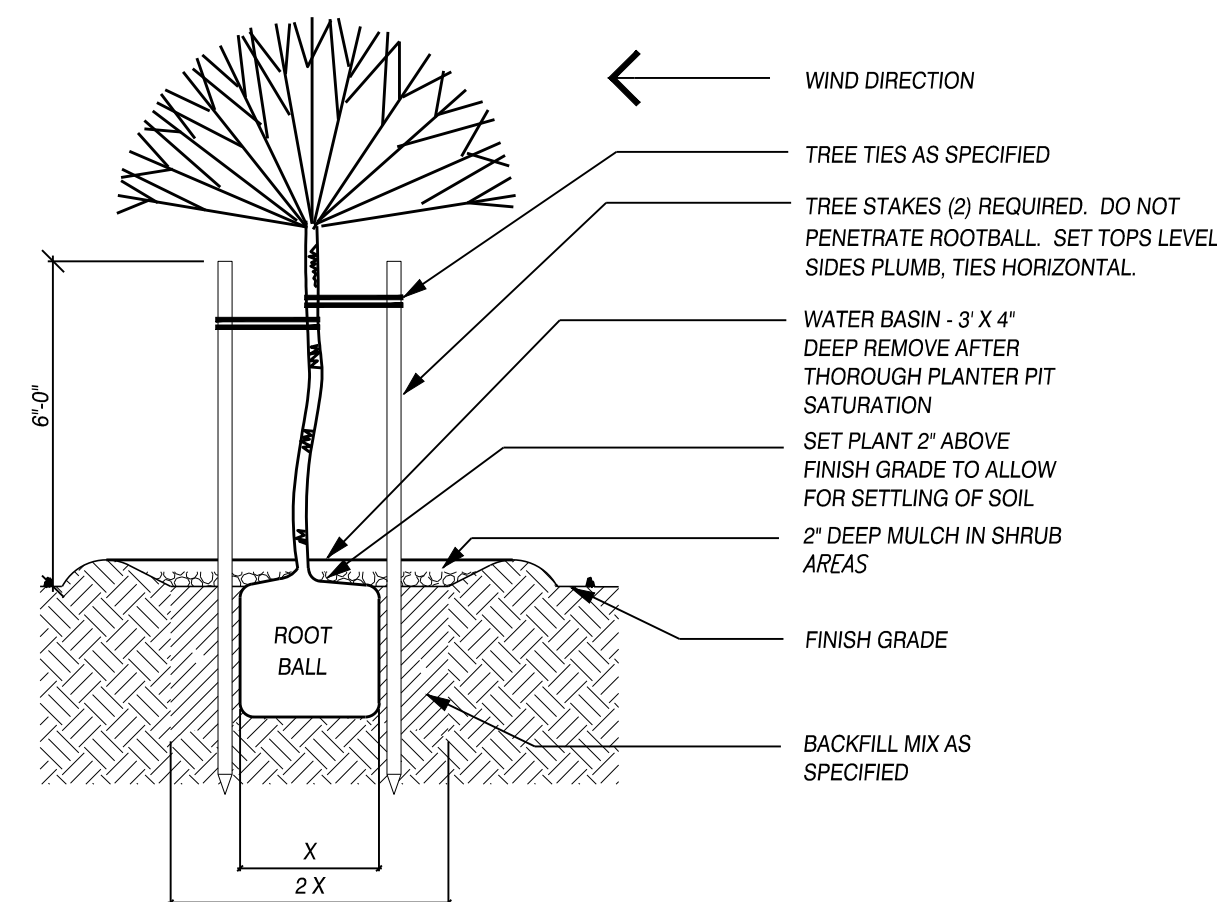
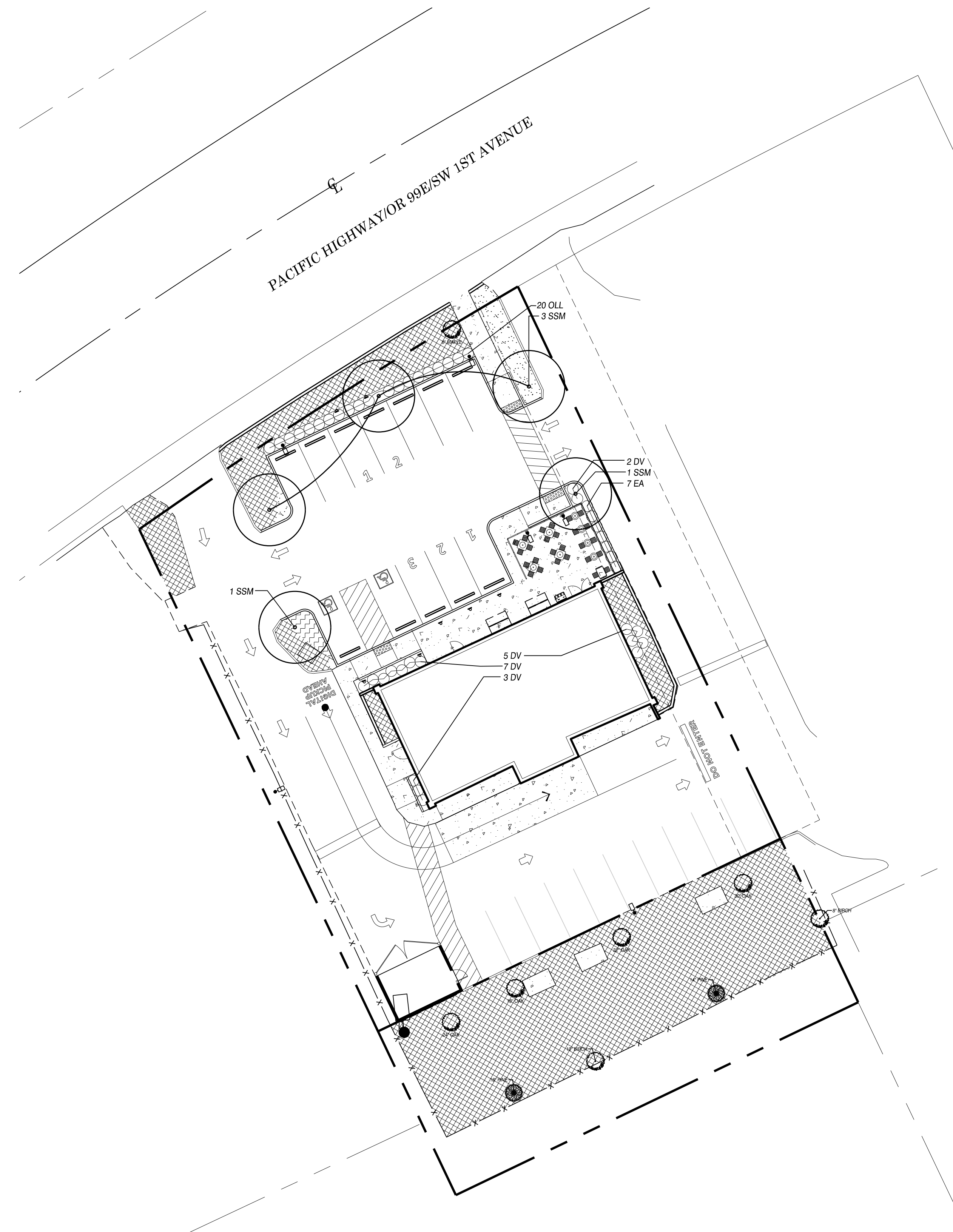
SYMBOL	COMMON NAME	SIZE/COND.	SPACING
TREES			
SSM	Scarlet Sentinel Maple <i>Acer rubrum 'Scarsen'</i>	2" CAL.	AS SHOWN
SHRUBS			
DV	David Viburnum <i>Viburnum davidii</i>	3 GAL.	3' O.C.
EA	Emerald Arborvitae <i>Thuja occidentalis 'Smaragd'</i>	3'-4' HEIGHT	2.5' O.C.
OLL	Otto Luyken Laurel <i>Prunus laurocerasus 'Otto Luyken'</i>	5 GAL.	3' O.C.

GROUNDCOVER

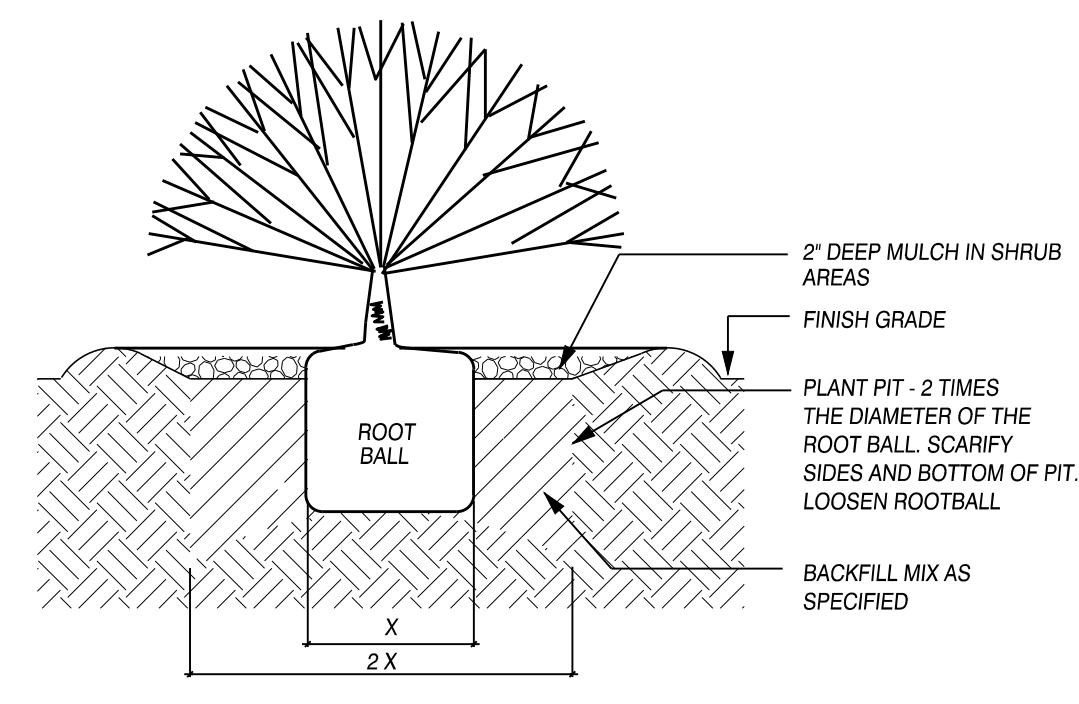
	Existing landscape to remain		
	Emerald Carpet Rubus <i>Rubus calycinoides 'Emerald Carpet'</i>	1 GAL.	18" O.C.
	Lawn - Seeded/Sod/Hydroseeded Oregon Ryegrass Blend - Meet/match adjacent lawn and lawn grade.		

NOTES

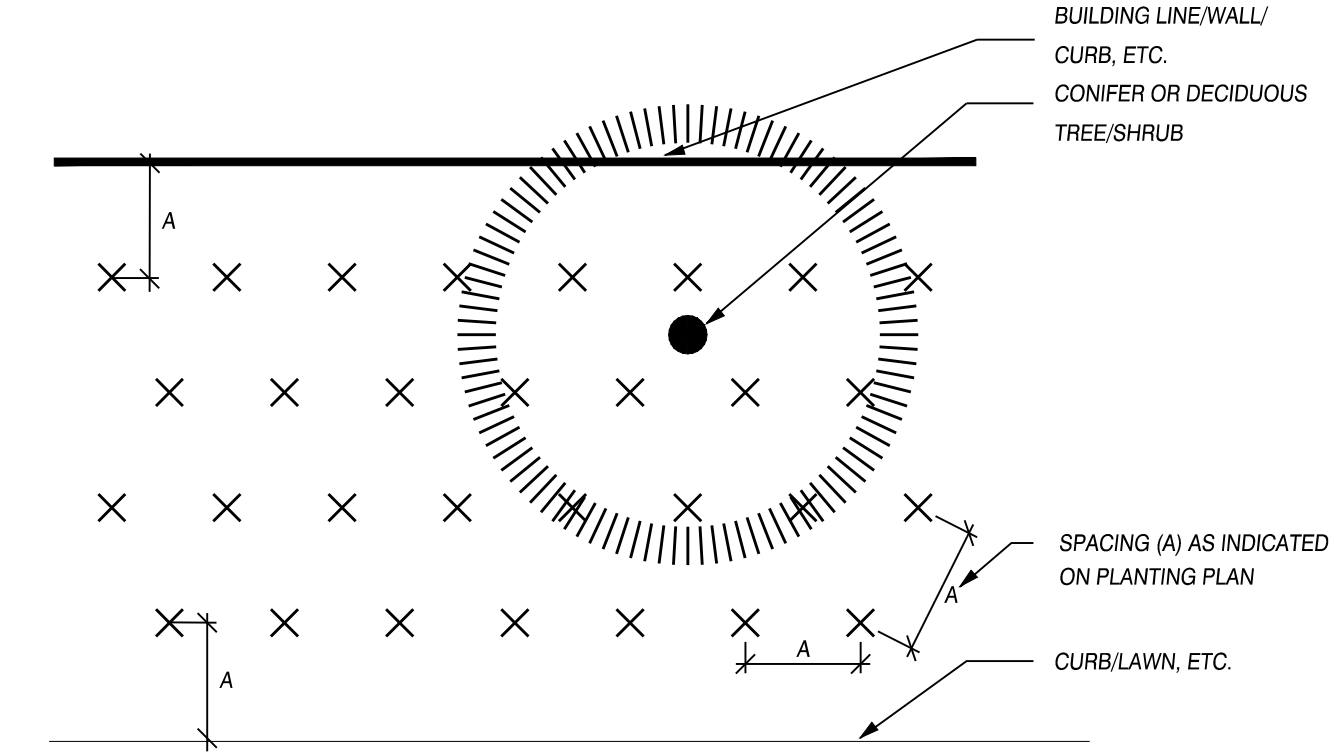
- Installation shall fully comply with all landscape code requirements and any City of Canby conditions of approval.
- Existing irrigation shall be modified to accommodate proposed and adjusted landscape areas.
- All landscaping shall be installed in a sound workman-like manner, and according to accepted good planting procedures with quality plant materials.
- The owner, or his agent, shall be responsible for the maintenance of all landscaping which shall be maintained in good condition so as to present a healthy, neat, and orderly appearance, and shall be kept free from refuse and debris.
- Existing vegetation to be removed or retained is as noted on the plan.
- Plants shall be spaced as indicated above unless otherwise shown on the plan. If a discrepancy exists, the plan shall prevail.
- Contractor shall verify species and quantities of all plant material prior to bid.
- Prior to installation of topsoil in new shrub, groundcover and lawn planting areas as indicated on the Landscape Plan, cross-rip at 18 inches on center or rototill subgrade to an 8-inch to 12-inch depth.
- Install minimum 12-inch depth imported topsoil in all new shrub and groundcover planting areas, 6 inches in new lawn areas, as indicated on the Landscape Plan. Amend planting area topsoil with 2-inch minimum layer composted yard debris prior to installation of plant material. Imported planting area topsoil shall be a sandy loam topsoil with a combined silt and clay content less than 20% and medium to very fine sand 60%-70% which shall be percentages by weight of those particles passing a 2mm screen. The remaining percentages shall be particles larger than medium to very fine sand (coarse or very coarse sand or gravel sized particles). All particles shall pass a 1/2-inch screen. All topsoil shall be free from subsoil, debris, turf, mushrooms, weeds or any other objectionable material. If subgrade is comprised of rock, rock fill or cement treated soil, remove subsoil from site and deposit topsoil to the following depths: 24-inch minimum depth in all planting areas, 36-inch minimum depth at all tree locations in a 5 foot diameter. Allow no cross contamination of cement treated soil with placed topsoil.
- Install minimum 2-inches bark mulch in all new landscape areas within 2 days of planting.



1 DECIDUOUS/CONIFER TREE PLANTING
NOT TO SCALE



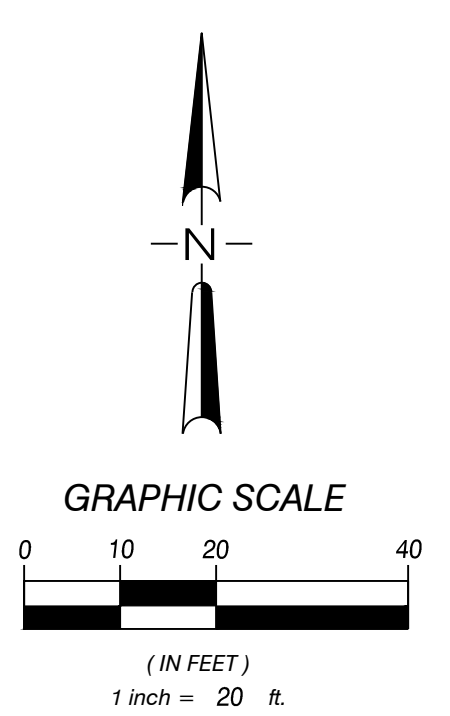
2 SHRUB/GROUNDCOVER PLANTING
NOT TO SCALE



3 GROUNDCOVER PLANTING
NOT TO SCALE

APPLICANT/OWNER:
MAJ CANBY, LLC
300 W. 15TH STREET SUITE 200
VANCOUVER, WA 98660
(360) 823-5125
FAX UNAVAILABLE
mike@majdevelopment.com;
brandi@majdevelopment.com

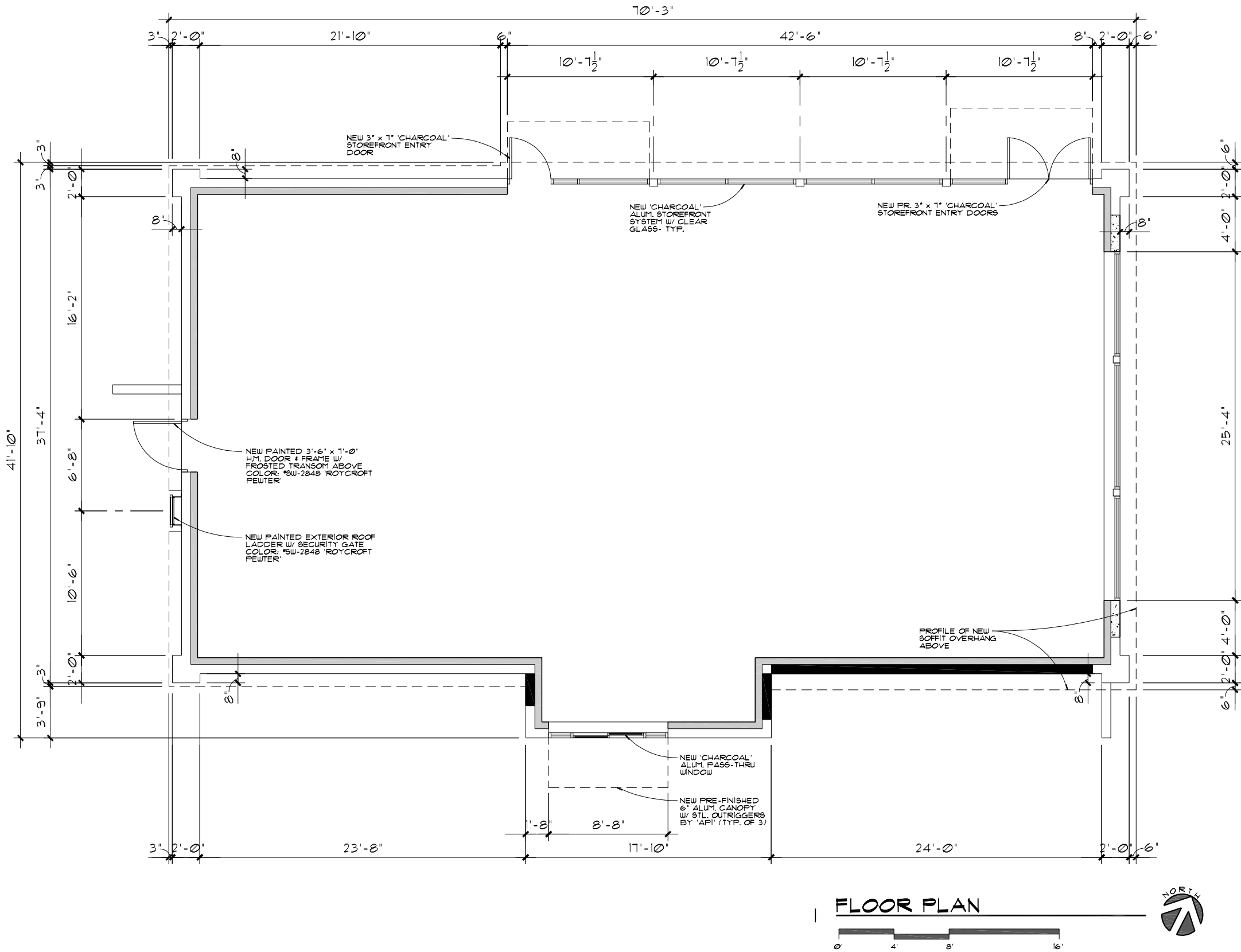
CONTACT:
MACKAY SPOSITO, INC.
ATTN: MIKE ODREN
18405 SE MILL PLAIN BLVD. #100
VANCOUVER, WA 98683
(360) 695-3511
modren@mackaysposito.com



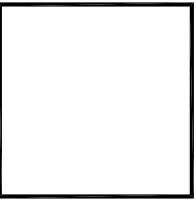
REVISIONS:

NO.	DATE	DESCRIPTION

JOB NO.: 18245
DATE: OCTOBER 2023
SCALE: 1" = 20'
DESIGNED BY: MRO
DRAWN BY: MRO
CHECKED BY: MRO



FLOOR PLAN



SCHMIDT
 ARCHITECTS, P.C.
 16101 SW 72ND AVENUE
 SUITE 135
 PORTLAND, OR 97224
 (503) 220-8517
 www.schmidtarchitectspc.com

MAJ @ CANBY 'QSR' REMODEL
 597 SW 1st AVENUE
 CANBY, OREGON
MAJ DEVELOPMENT

PROJECT NO.
2023-108
 DATE:
 10-16-2023
 DRAWN BY:
 GAH
 CHECKED BY:
 FMS

REVISIONS

2023-108\Floorplan /
 Layout4

